



Stephen R. Olmsted, AICP
Planning Director
planning@pinecrest-fl.gov

MEMORANDUM

Department of Building and Planning

DATE: August 31, 2023

TO: Yocelyn Galiano Gomez, ICMA-CM, LEED-GA
Village Manager

FROM: Stephen Olmsted, AICP, LEED-GA
Planning Director

RE: Royal Palm Tennis Club - 7001 Southwest 98 Street
Addition of Tennis and Pickleball Courts; and Conditional Use Permit for Outdoor
Court Lighting

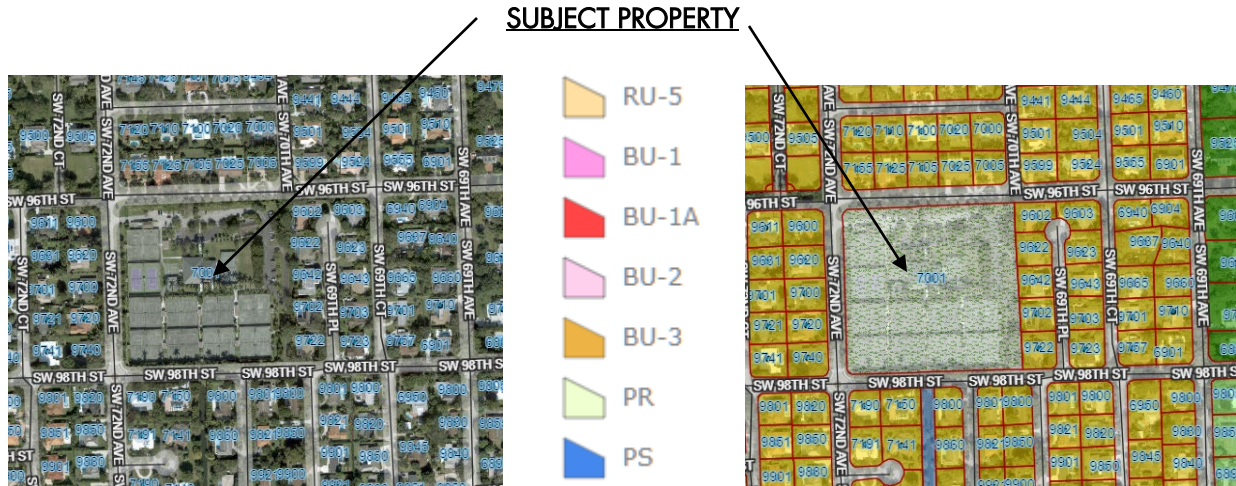
PETITION REQUEST

Royal Palm Tennis Club is requesting (A) Modification of an approved Site Plan to include the addition of 1 new tennis court, 1 new practice hitting wall, 4 new pickleball courts, and 22 additional parking spaces; and the enclosure of 3 outdoor areas adjacent to the Clubhouse; and (B) Approval of a conditional use permit to allow installation of outdoor lights adjacent to 2 existing tennis courts, the proposed practice hitting wall, and the 4 proposed pickleball courts pursuant to the requirements of the Village's Land Development Regulations, Division 5.25, Tennis Court/Basketball Court/Outdoor Recreational Area Lighting, in compliance with the criteria for a conditional use permit as provided in Division 3.3, Conditional Use Approval.

SITE LOCATION

The subject property is located at 7001 Southwest 98 Street, at the northeast corner of SW 98 Street and SW 72 Avenue, within the PR, Parks and Recreation Facilities zoning district.





OWNER/APPLICANT

Royal Palm Tennis Club, Inc./Marissa Neufeld (Greenberg Traurig)

BACKGROUND

Royal Palm Tennis Court is an established private tennis club located at 7001 Southwest 98 Street, in the Village of Pinecrest.

PUBLIC COMMENT

The Building and Planning Department has received one request for review of the proposed application and plans, and two telephone inquiries including comments from one caller expressing concern about the noise that activity on the pickleball courts may generate.

PINECREST LAND DEVELOPMENT REGULATIONS

The existing tennis club is a conditionally permitted use within the PR, Parks and Recreational Facilities Zoning District. Modification of the existing site plan to add a new tennis court, practice wall, and 4 new pickleball courts and the addition of new tennis court lighting is consistent with established uses at the club and will be subject to consideration by the Village Council in a public hearing on September 12, 2023. Modification of the approved site plan also requires conformance with specified criteria including land use compatibility, and compliance with the Village’s Comprehensive Development Master Plan.

ANALYSIS

In order to obtain approval of a conditional use, an applicant is required to demonstrate compliance with the following standards of Division 3.3 of the Land Development Regulations:

1. **LAND USE COMPATIBILITY** - *The Conditional Use, including its proposed scale and intensity, traffic generating characteristics, and off-site impacts shall be compatible and harmonious with adjacent land uses and shall not adversely impact land use activities in the immediate vicinity.*

There is thick vegetative buffer that exists along all sides of the tennis club including an Areca Palm hedge, Live Oak, Gumbo Limbo, Palm and other trees and shrubs. A buffer between dissimilar uses consisting of a coral rock wall, wooden fence, and areca palm hedge exists along the eastern property line. Submitted plans include the planting of an additional 38 trees on site including several Live Oak trees adjacent to the north, south, east, and west property lines. All existing and proposed lights are shielded and aimed downward as required by the Land Development Regulations to prevent glare. Indicated lighting levels are limited to 0.5 foot-candles or less in compliance with Village requirements at the property line.

2. **SUFFICIENT SIZE, SITE SPECIFICATIONS AND INFRASTRUCTURE TO ACCOMMODATE THE PROPOSED USE** - *The size and shape of the site, the proposed access and internal circulation, and the urban design must be adequate to accommodate the proposed scale and intensity of conditional use requested. The site shall be of sufficient size to provide adequate screening, buffers, landscaping, open space, off-street parking, efficient internal traffic circulation, infrastructure and similar site plan improvements needed to mitigate against potential adverse impacts of the proposed use.*

The existing tennis club has a total of 72 parking spaces as originally approved and constructed in 1960 under the jurisdiction of Miami-Dade County. This is fewer than the 124 parking spaces that would otherwise be required if the club were established today. However, the plan amendments proposed by the applicant consisting of an overall reduction in the clubhouse space, including recent demolition of the original clubhouse, and a proposed addition to the newer existing clubhouse; and the addition of 5 new courts results in the need for 19 new parking spaces. The applicant is proposing an additional 22 spaces.

Potential adverse impacts will be mitigated through existing vegetative buffering along the northern, southern, and western property lines, and the coral rock wall, wooden fence, and landscape buffer that exists between the tennis club and adjoining single family

residence to the east. All proposed lights will be positioned downward and shielded as required.

3. **COMPLIANCE WITH THE COMPREHENSIVE DEVELOPMENT PLAN (CDMP) AND LAND DEVELOPMENT CODE** - *The conditional use and site plan shall comply with environmental, zoning and other applicable regulations of the Land Development Code, and shall be consistent with the CDMP.*

The additional courts and lighting will be consistent with the Village's Comprehensive Development Master Plan and Land Development Regulations governing conditional uses and outdoor lighting, if installed and maintained in accordance with the submitted application and recommended conditions of approval. The proposed use is consistent with Policy 1-1.2.2 of the Village's Comprehensive Development Master Plan with regard to buffering that is designed to promote an orderly land use transition, and is consistent with all requirements of the Village's Land Development Regulations.

4. **PROPER USE OF MITIGATIVE TECHNIQUES** - *The conditional use and site plan shall incorporate mitigative techniques needed to prevent adverse impacts to adjacent land uses. In addition, the design scheme shall appropriately address off-site impacts to ensure that land use activities in the immediate vicinity, including community infrastructure, are not burdened with adverse impacts detrimental to the general public health, safety and welfare.*

The proposed site plan amendments and new lighting are in compliance with requirements of the Village's Land Development Regulations. The applicants agree to restricted hours of use as required with no use between the hours of 10:00 p.m. and 8:00 a.m. Additional mitigative measures do not appear to be necessary.

5. **HAZARDOUS WASTE - HAZARDOUS WASTE** - *No conditional use which generates hazardous waste or uses hazardous materials shall be located in the Village unless the specific location is consistent with the CDMP, Land Development Code, and does not adversely impact well fields, aquifer recharge areas, or other conservation resources, as may be applicable now or in the future. The proposed use shall not generate hazardous waste or require use of hazardous materials in its operation unless the Village Council approves conditions requiring mitigative techniques designed to prevent any adverse impact to the general health, safety and welfare.*

This standard is not applicable to the proposed conditional use.

In addition to the general standards that are applicable to all conditional uses as provided in Division 3.3 of the Pinecrest Land Development Regulations, Division 5.25 of

the Land Development Regulations includes specific standards for approval of outdoor court lighting as follows:

- (a) A photometric plan shall be submitted which specifies the illumination levels, expressed in initial foot-candles, along all affected property lines.**

A photometric plan has been submitted which shows illumination of 0.5 foot-candles or less at the property line.

- (b) The lighting shall be designed so that any overspill of lighting onto adjoining properties or street rights-of-way shall not exceed 0.5 foot-candles vertically or horizontally and shall not cause any reflected illumination onto adjacent properties, structures or rights-of-way.**

Lighting intensity at the property line are indicated to be 0.5 foot-candles and are shielded and aimed downward to prevent glare and illumination onto adjacent properties.

- (c) Lighting standards and fixtures shall not exceed 18 feet in overall height and shall be located within the confines of the tennis court(s)/basketball court(s).**

Proposed lighting standards are indicated at a maximum of 18 feet in height, consistent with the maximum permitted height of outdoor sports court lighting.

- (d) Tennis court/basketball court lighting shall not be used between the hours of 10:00 p.m. and 8:00 a.m.**

The applicants acknowledge and agree to comply with the Village's hours for use of outdoor tennis court lighting with no use between 10:00 p.m. and 8:00 a.m.

- (e) Prior to the issuance of a certificate of use, the permittee must submit a letter of compliance from a registered engineer or architect stating that the installation has been inspected under operating conditions and found to be within the requirements set forth above.**

If approved by the Village Council, a letter of compliance will be required to be submitted that demonstrates compliance with the approved plans, conditions of approval, and all applicable requirements of the Land Development Regulations including certification that lighting levels do not exceed 0.5 foot-candles at the property line.

- (f) The lighting shall not be injurious to the area involved or otherwise detrimental to the public welfare.**

The lighting will not be injurious to the public, if shielded, screened and maintained in compliance with the Village's Land Development Regulations and proposed site plan.

Site Development Plan

Building and Planning Department staff have coordinated an evaluation of the proposed site plan with other applicable Village Departments based on the criteria of Division 3.4 of the Village's Land Development Regulations (Site Plan Approval). This evaluation is intended to provide an assessment of the impacts of the proposed development. The listed criteria are used as the basis for staff's report and recommendation to the Village Council.

(a) In what respects the plan is or is not consistent with the Comprehensive Development Master Plan and the purpose and intent of the zoning district in which it is located.

COMPREHENSIVE DEVELOPMENT MASTER PLAN

Future Land Use Element

The proposed modifications to the approved site development plan are consistent with the PR, Parks and Recreational Facilities Future Land Use classification of the Village's Comprehensive Plan.

The Future Land Use element of the Comprehensive Plan restricts the maximum floor area ratio of the PR District to 0.40 for a one story building. The floor area ratio of the clubhouse is proposed to be reduced from 0.018 to 0.017 (Reduction of 371 square feet); in compliance with floor area ratio requirements of the Village's Comprehensive Plan.

(b) In what respects the plan is or is not in conformance with all applicable regulations of the zoning district in which it is located.

PR, PARKS AND RECREATIONAL FACILITIES ZONING DISTRICT

The "Intent" of the PR, Parks and Recreational Facilities zoning district is to accommodate existing public and semi-public uses. Private recreational facilities are conditionally permitted uses within the district.

The existing tennis club and proposed additional courts and lighting are designed and planned to be developed in compliance with minimum building setback requirements, maximum height restrictions, maximum impervious area requirements, minimum green space requirements, and parking requirements as specified within the Land Development

Regulations. No variances to the Land Development Regulations are requested or required to accommodate the proposed amendments.

Division 5.22 d. of the Land Development Regulations limits lighting levels to 0.5 foot candles at the property line. The photometric drawing submitted by the applicant and dated May 8, 2023 shows proposed illumination levels in compliance with lighting limits in all areas adjacent to the property line. All new exterior lighting is proposed to be shielded to prevent glare.

The existing tennis club has a total of 72 parking spaces as originally approved and constructed in 1960 under the jurisdiction of Miami-Dade County. This is fewer than the 124 parking spaces that would otherwise be required if the club were established today. However, the plan amendments proposed by the applicant consisting of an overall reduction in the clubhouse space, including recent demolition of the original clubhouse, and a proposed addition to the newer existing clubhouse; and the addition of 5 new courts results in the need for 19 new parking spaces. The applicant is proposing an additional 22 spaces.

(c) In what respects the plan is or is not in conformance with the Village subdivision regulations and all other applicable village requirements including the design and construction of streets, utility facilities and other essential services.

Concurrency Management/Level of Service Standards

The applicant has submitted a traffic study prepared by Dynamic that analyzes the traffic impacts of the additional courts. The study indicates that no increase in club membership is proposed. This was also confirmed by the applicant in a telephone conversation on August 29, 2023. Rather, the new tennis court and pickleball courts will be used by the current membership and will provide them with an option to play both tennis and pickleball. Based on standards of the Institute of Traffic Engineers for tennis courts, the traffic study indicates that the additional courts would otherwise generate 16 vehicle trips during the a.m. peak hour and 21 trips during the p.m. peak hour. This additional level of traffic is minimal and will not cause the level of service on adjoining roadways to deteriorate below the Village's adopted level of service E.

Review and approval of the proposed plans by the Miami-Dade County Fire Rescue Department, DERM, Public Works Department, Health Department and other applicable outside reviewing agencies will be required prior to issuance of building permits.

(d) In what respects the plan is or is not consistent with good design standards in respect to all external relationships including but not limited to:

1. Relationship to adjoining properties.

The subject property is located immediately east of SW 72 Avenue, north of SW 98 Street and south of SW 96 Street. Single-family residences are located adjacent to the existing tennis club immediately to the east, and on the north side of SW 98 Street, the west side of SW 72 Avenue, and the south side of SW 96 Street.

A buffer between dissimilar uses consisting of a coral rock wall, wooden fence, and an Areca palm hedge is located along the eastern property line.

The existing tennis club will continue to be compatible with neighboring land uses if landscaped as indicated in submitted plans, and if developed and operated consistent with the requirements of the Land Development Regulations as proposed.

2. Internal circulation, both vehicular and pedestrian.

Vehicular ingress and egress to the property will continue to be provided through the 2 existing driveway entrances located adjacent to SW 98 Street and SW 72 Avenue.

Division 5.23 of the Village's Land Development Regulations requires construction of pedestrian sidewalks or payment of a fee in lieu of construction when a new building is constructed or when an existing building is remodeled beyond 50% of its floor area. The applicant is proposing to enclose outdoor area adjacent to the clubhouse that exceeds 50% of the floor area of the exiting building. A pedestrian sidewalk exists adjacent to the south side of the tennis club along SW 98 Street. Construction of a sidewalk adjacent to Southwest 72 Avenue and SW 96 Street or payment of a fee in lieu of construction, as determined by the Administrative Official, will be required prior to issuance of building permits.

3. Disposition of open space, use of screening or buffering and preservation of existing natural features including trees.

The Village's Land Development Regulations require minimum green space in the amount of 35% of the property area plus 10 square feet of green space for each parking space provided. A total of 136,714 square feet of green space is required. A total of 139,384 square feet of green space is proposed to be provided.

The submitted plan includes landscaping within the parking lot and within landscaped buffers around the perimeter of the property, including an Areca Palm hedge, Clusia, Live Oak and Gumbo Limbo trees, palm trees, and other native trees and shrubs. Submitted plans include the planting of an additional 38 trees including 28 Live Oak trees around the club perimeter.

The Public Works Department is considering installation of a culvert and enclosure of the existing drainage swale that exists on the north side of SW 98 Street. The planting of additional trees in the SW 98 Street right-of-way and other street rights-of-way adjacent to Royal Palm Tennis Club will require review and approval of the Public Works Department prior to planting.

4. Building arrangements both between buildings in the proposed development and those adjoining the site.

The proposed new courts are set back from adjoining property lines in compliance with the setback requirements of the PR, Parks and Recreational Facilities zoning district.

(e) In what respects the plan is or is not in conformance with the village policy in respect to sufficiency of ownership, guarantee for completion of all required improvements and the guarantee for continued maintenance.

Affidavits submitted with the application indicate that the subject property is owned by Royal Palm Tennis Club, Inc. Marissa Neufeld has been authorized to act on the club's behalf.

RECOMMENDATION

Conditional Use Permit/Modified Site Plan

The Building and Planning Department recommends approval of the modified site plan and proposed tennis court lighting subject to the following conditions:

1. Maintenance of the existing landscape buffer along the north, east, west, and south property lines adjacent to the tennis court.
2. Outdoor court lighting shall not be used between the hours of 10:00 p.m. and 8:00 a.m.
3. Submittal of a letter of compliance from a registered engineer or architect stating that the installation has been inspected under operating conditions and found to be consistent with the approved plans, conditions of approval, and all applicable requirements of the Village's Land Development Regulations including maximum permitted lighting levels that do not exceed 0.5 foot-candles along all property lines.
4. Approval of required building and electrical permits and inspections by the Building and Planning Department.

5. Lighting levels at the property line shall be maintained at 0.5 foot-candles or less and the vegetative buffer as indicated on submitted plans shall be maintained as shown including a minimum height of 12 feet for the Clusia hedge. In the event that the existing and proposed vegetative buffer is compromised, damaged, or diminished to an extent that causes lighting levels to exceed 0.5 foot candles at the property line, Royal Palm Tennis Club shall disengage and discontinue outdoor lighting as necessary to maintain compliance with maximum permitted lighting levels of 0.5 foot-candles or less at the property line.
6. Review and approval of the proposed plans by the Miami-Dade County Fire Rescue Department, DERM, Public Works Department, Health Department and other applicable outside reviewing agencies prior to issuance of building permits.
7. Construction of pedestrian sidewalks adjacent to SW 72 Avenue and SW 96 Street or payment of a fee in lieu of construction as determined by the Administrative Official upon confirmation that the final design of the building addition exceeds 50% of the area of the existing building at the time of application for building permits.
8. Review and approval of the location of additional trees and landscaping in the adjacent public rights-of-way by the Public Works Department prior to planting.



Stephen R. Olmsted, AICP
Planning Director
planning@pinecrest-fl.gov

MEMORANDUM

Department of Building and Planning

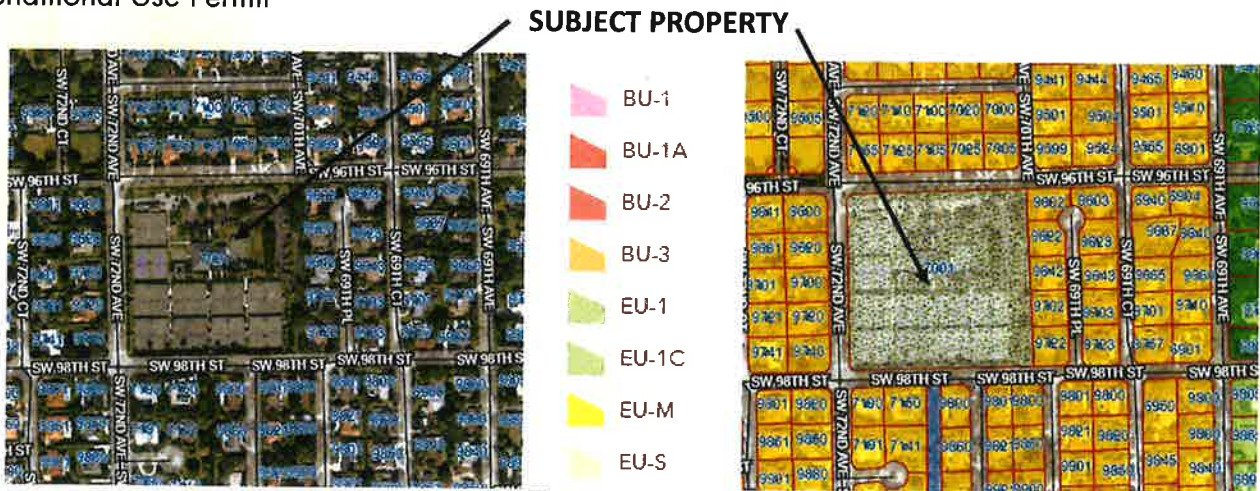
On **Tuesday, September 12, 2023 at 7:00 p.m.**, the Pinecrest Village Council will conduct a public hearing at the Pinecrest Municipal Center, Council Chamber, 12645 Pinecrest Parkway, Pinecrest, Florida to consider the following:

OWNERS/APPLICANT(S): Royal Palm Tennis Club Inc. (Owner), and Marissa A. Neufeld, Esq. (Applicant).

ITEM: (A) Modification of an approved Site Plan to include the addition of 1 new tennis court, 1 new practice hitting wall, 4 new pickleball courts, and 22 additional parking spaces, and the enclosure of 3 outdoor areas adjacent to the Clubhouse; and (B) Approval of a conditional use permit to allow installation of outdoor lights adjacent to 2 existing tennis courts, the proposed practice hitting wall, and the 4 proposed pickleball courts pursuant to the requirements of the Village’s Land Development Regulations, Division 5.25, Tennis Court/Basketball Court/Outdoor Recreational Area Lighting, in compliance with the criteria for a conditional use permit as provided in Division 3.3, Conditional Use Approval.

LOCATION: 7001 SW 98 Street in the PR, Parks and Recreational Facilities zoning district.

REQUEST: The Owner and Applicant are requesting approval of a Site Plan Modification and Conditional Use Permit



All interested parties are urged to participate. Live streaming video of the meeting will be available at www.pinecrest-fl.gov/live. If you do not wish to attend the in-person meeting, public comments may be submitted in writing prior to the hearing via e-mail to planning@pinecrest-fl.gov or on ZOOM during the meeting by sending a request to clerk@pinecrest-fl.gov prior to 12:00 Noon on Tuesday, September 12, 2023.

OVER



OVER

Interested parties requesting information are asked to contact the Building and Planning Department by calling (305) 234-2121, via e-mail at planning@pinecrest-fl.gov, or writing to the department at 12645 Pinecrest Parkway, Pinecrest, Florida 33156, where a plan is on file.

In accordance with the Americans with Disabilities Act of 1990, all persons with disabilities and who need special accommodations to participate in this meeting because of that disability should contact the Village Clerk at (305) 234-2121 no later than seven (7) business days prior to such proceeding.

Should any person decide to appeal any decision of the Village Council with respect to any matter considered at such meeting or hearing, that person will need a record of the proceedings, and for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based (F.S. 286.0105).

ROYAL PALM TENNIS CLUB
MEMBERS ONLY

PUBLIC HEARING
PERTAINING TO THIS PROPERTY TO BE HELD AT:
MUNICIPAL CENTER
12645 PINECREST PARKWAY

ADDITIONAL
INFORMATION
CALL: 888-272-2222

DEPARTMENT
OF
BUILDING
AND
PLANNING

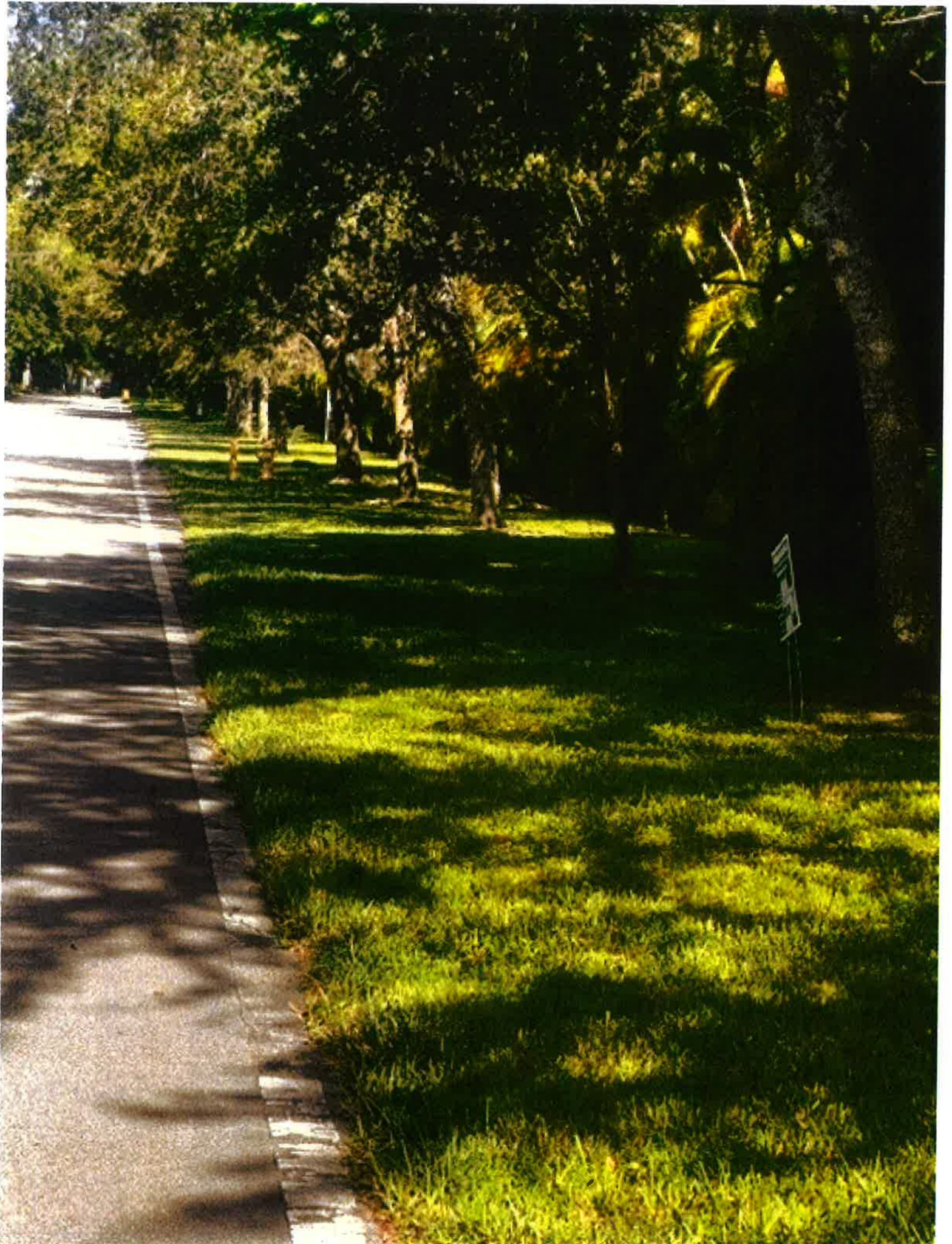


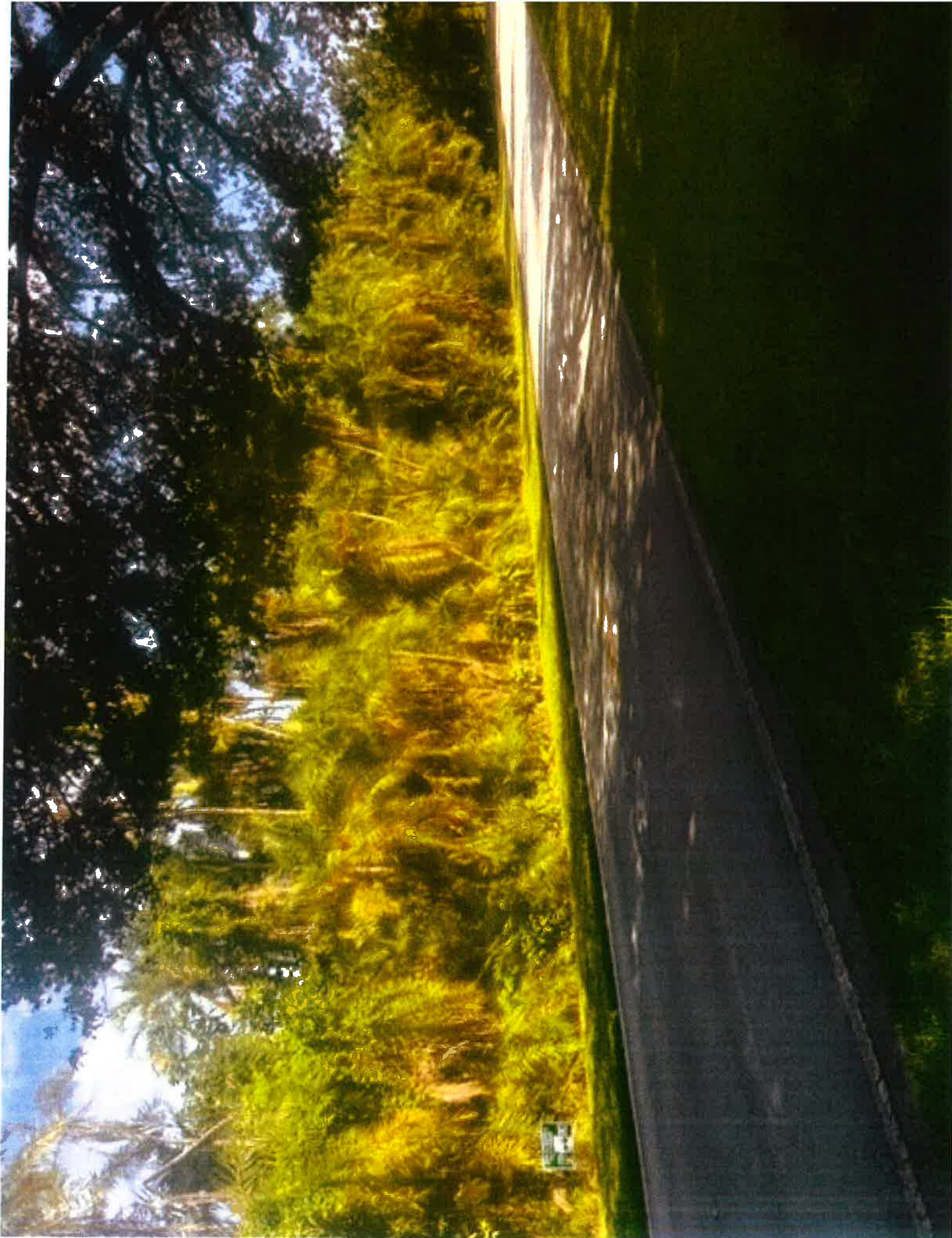
The sign features a central image of a public hearing notice with a header that reads "PUBLIC HEARING" and a "PINECREST" logo on the right side.

PUBLIC HEARING
FOR THE
MUNICIPAL CENTER











PUBLIC HEARING
PROPOSING TO INCORPORATE TO BEHOLD AN
MUNICIPAL CENTER
DUAL-PURPOSE DEVELOPMENT

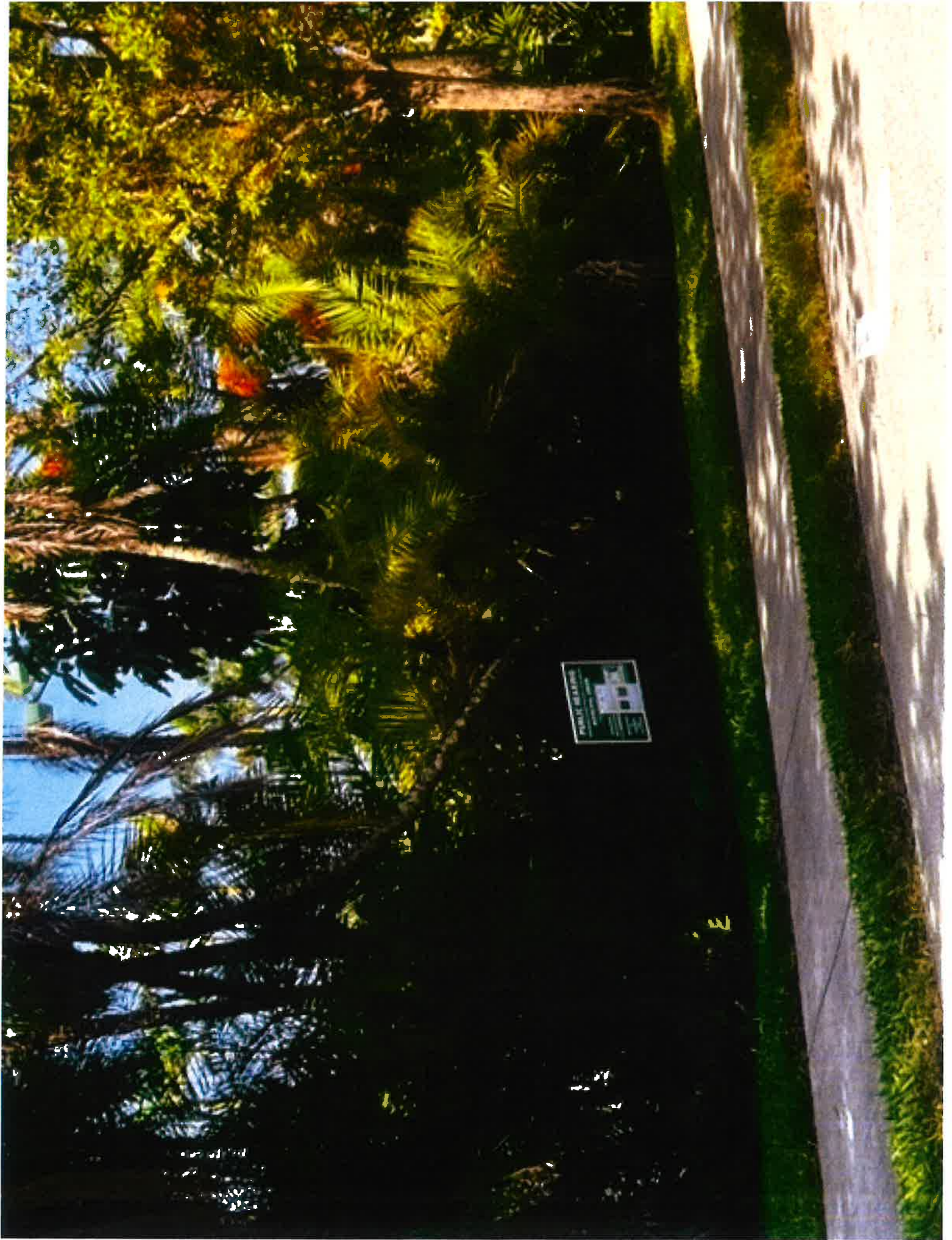
APPROXIMATE
APPROXIMATE
CALL 813-261-1111

APPROVED
FOR
PLANNING



SW 72 A







ROYAL PALM TENNIS CLUB
MEMBERS ONLY

PUBLIC HEARING
PERTAINING TO THIS PROPERTY TO BE HELD AT:
MUNICIPAL CENTER
12645 PINECREST PARKWAY

ADDITIONAL
INFORMATION
CALL: 888-272-2222

DEPARTMENT
OF
BUILDING
AND
PLANNING



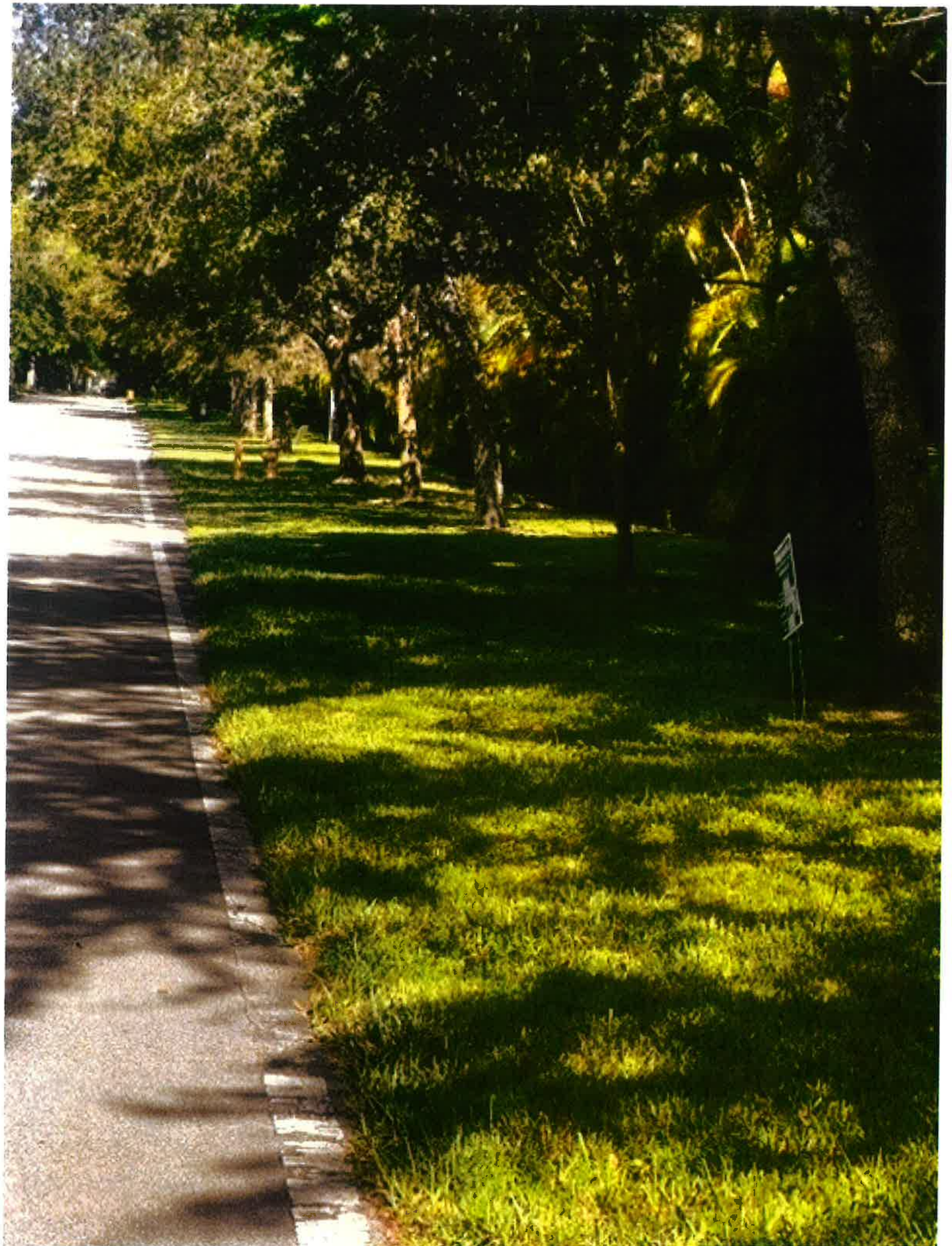
The sign features a map of the area and a logo for the Village of Pinecrest, Florida. The map shows a specific location within the village boundaries. The logo includes the text 'Village of PINECREST FLORIDA'.

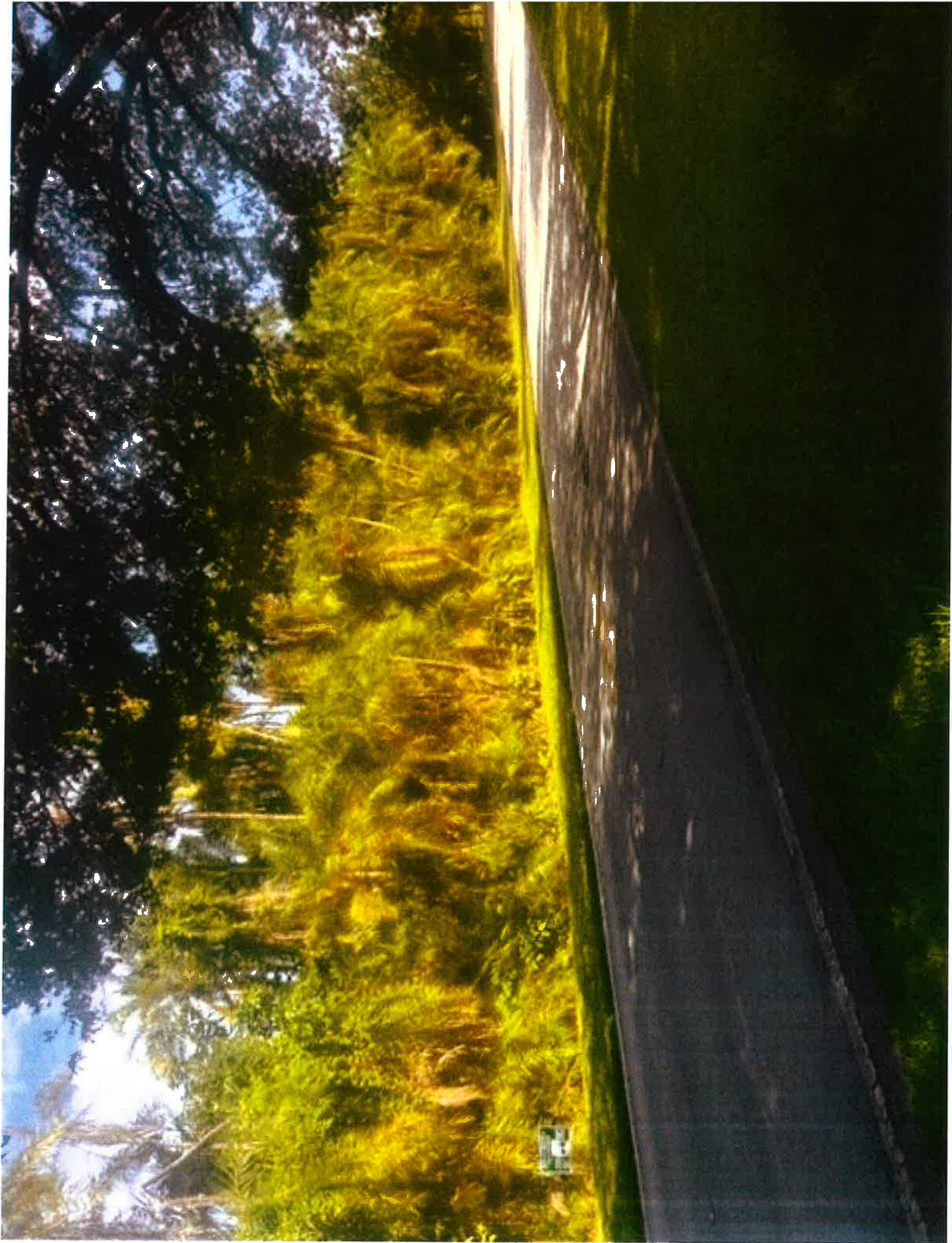
PUBLIC HEARING
CITY OF [illegible]
MUNICIPAL CENTER
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PUBLIC HEARING
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PUBLIC HEARING
PROPOSING TO REDEVELOP 100 ACRES IN
MUNICIPAL CENTER
DUBLIN, CALIFORNIA

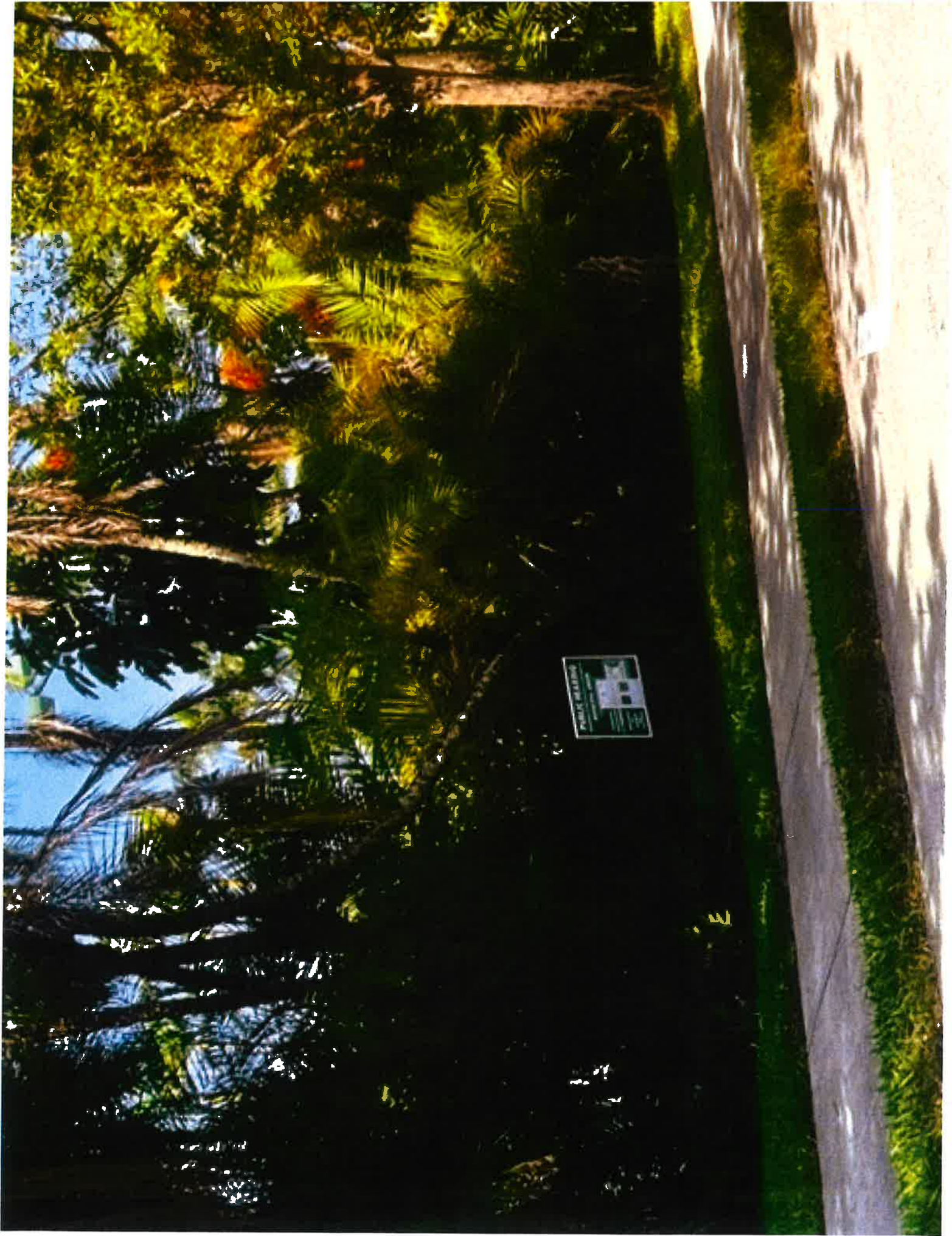
APPROXIMATE
APPLICABLE
ZONING DISTRICT

APPROXIMATE
PROPOSED
LAND USE



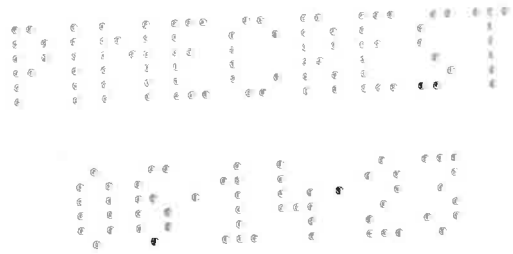
SW 72 A







TRUCKEE
SUNNY DAY
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March 16, 2023
Updated: June 8, 2023

VIA HAND DELIVERY

The Honorable Mayor and Village Council of the Village of Pinecrest
c/o Stephen Olmsted, Planning Director
Building & Planning Department
12645 Pinecrest Parkway
Pinecrest, Florida 33156

**Re: Royal Palm Tennis Club / 7001 SW 98 Street, Pinecrest
Letter of Intent in Support of Minor Site Plan Modification and
Conditional Use Application**

Dear Mr. Olmsted:

Our firm represents Royal Palm Tennis Club (the “Club”) in connection with the enclosed application for a minor site plan modification and a conditional use request, pursuant to Division 3.3, 3.4, and 5.25 of the Village Code (the “Application”). We respectfully submit this letter of intent in support of the Application.

ABOUT ROYAL PALM TENNIS CLUB

Royal Palm Tennis Club has operated at 7001 SW 98 Street (the “Property”) for sixty-three years. During these past six decades, the Club has been singularly focused on its mission: to operate as a non-profit, member-owned club dedicated to teaching and encouraging the game of tennis and other social activities in an “atmosphere of sportsmanship and friendship.” The Club’s focus on its mission has helped it become one of South Florida’s premier tennis facilities. The Club’s current President is Ms. Joan Sanz. Enclosed as composite **Exhibit “A”**, please find a copy of the Florida Department of State, Division of Corporations (www.sunbiz.org) entity information confirming Joan Sanz is President of Royal Palm Tennis Club, Inc., as well as a copy of the By-Laws of the Royal Palm Tennis Club confirming Joan Sanz, as President, may sign on behalf of the Club. The Club currently has 290 members. Attached as **Exhibit “B”** is an overview of the Club’s leagues and programs.

MINOR SITE PLAN MODIFICATIONS

In order to maintain its position as a premier tennis facility, the Club is always considering ways to improve offerings to members. As such, the Club is proposing minor

modifications to the existing development. The modifications are proposed in two (2) phases: Phase I includes adjustments/reconfiguration of sport courts; Phase II includes adjustments to the existing clubhouse. In each phase, the Property will remain in compliance with all required zoning requirements including but not limited to off-street parking and green space. Enclosed as **Exhibit "C"** is a letter prepared by Dynamic Engineering Consultants, P.C., highlighting a few of the engineering upgrades proposed as part of the Application.

Phase I

As detailed in the site plan Sheet A-1.2 enclosed with this submittal, the proposed program for Phase I includes the following:

- One (1) new tennis court where a practice hitting wall currently exists (in between existing court 19 and the existing clubhouse);
- One (1) new practice hitting wall where a chickee hut currently exists (adjacent to existing court 17)
- Four (4) new pickleball courts where the original coral rock clubhouse previously existed

Phase II

As detailed in the site plan Sheet A-1.6 enclosed with this submittal, Phase II includes a minor modification of the existing clubhouse to enclose three (3) outdoor areas to provide additional indoor space. It is important to note that the existing impervious footprint of the clubhouse will not be expanded; all the enclosures occur under/within the existing footprint and roofline.

CONDITIONAL USE REQUEST

The Application also includes a conditional use request under Division 3.3 and 5.25 of the Village Code for additional 18' tennis court lighting. Just as it has done in the past, the Club has taken multiple measures to ensure that the proposed new lighting will not adversely affect its neighbors or the Village.¹ The proposed lighting has been designed to prevent any overspill of lighting onto adjoining properties or street rights-of-way. Based on the photometric plan included with the Application, any potential spillage from the new lighting will **not** exceed the Village's limit along the Club's property lines (0.5 foot-candles), and in most areas, will be 0 foot-candles **within** the Club's property lines.

Division 3.3(c) Specific Criteria for Approving Conditional Use

1. ***Land use compatibility.*** The conditional use, including its proposed scale and intensity, traffic generating characteristics, and off-site impacts shall be compatible and harmonious with adjacent land uses and shall not adversely impact land use activities in the immediate vicinity.

¹ The Village previously reviewed/approved a conditional use and variance application for 30' tennis court lighting at the Club. The current Application proposes only 18' light poles; therefore, a variance application is not required.

The proposed use remains unchanged; the Club will continue to operate as a premier non-profit tennis facility, as it has done for six decades. The Club proposes the introduction of 18' light poles in a limited number of areas on the North of the Property.

The Club is surrounded on the North, West, and South sides by a street that serves to separate the Club's property lines from neighboring parcels. To the East, a combination of wooden fence, coral rock wall, and dense landscape buffer act as a separation between neighboring parcels and the Club. As confirmed by the Photometric Plan included on Sheet A-1.11 of the enclosed site plan, the proposed lighting will not spill into the yards of the Club's neighbors; in no instance will the potential spillage of light exceed the Village's threshold of .5 foot-candles. In addition, the Club maintains a lush landscape buffer that will shield any potential light spillage.

In accordance with Division 5.25 and consistent with its current practice, the Club will not operate tennis court lighting between the hours of 10:00 p.m. and 8:00 a.m.

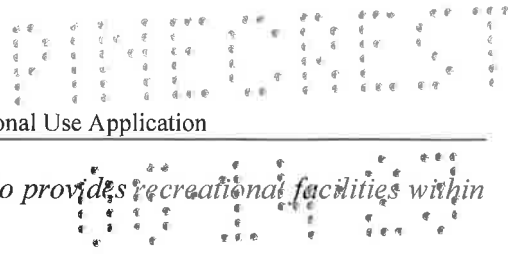
- 2. Sufficient site size, site specifications, and infrastructure to accommodate the proposed use.** The size and shape of the site, the proposed access and internal circulation, and the urban design must be adequate to accommodate the proposed scale and intensity of conditional use requested. The site shall be of sufficient size to provide adequate screening, buffers, landscaping, open space, off-street parking, efficient internal traffic circulation, infrastructure and similar site plan improvements needed to mitigate against potential adverse impacts of the proposed use.

As noted above, the conditional use request is limited to the introduction of 18' lighting poles on the North side of the Property. The Village previously reviewed and approved a conditional use application for 30' lighting poles on the South side of the Property. To date, the any spillage from the existing tennis court lighting at the Club has remained contained with the Property.

- 3. Compliance with the comprehensive master development plan and land development code.** The conditional use and site plan shall comply with environmental, zoning and other applicable regulations of this land development code and shall be consistent with the comprehensive development master plan.

The conditional use is consistent with the Goals, Objectives, and Policies of the Village's Comprehensive Development Master Plan (the "CDMP"). Goal 1-1 of the CDMP states that the Village "shall maintain and enhance the extraordinary character and quality of land uses within the Village by...advancing the aesthetic, physical, social, cultural, and economic interests of its residents." The Club advances each of these interests by providing a premier recreational facility within the Village.

Objective 1-1.17 of the CDMP is to "promote Village appearance, natural amenities and urban design principles", including public/semi-public grounds and institutions. The



Club is an immaculately maintained park that also provides recreational facilities within the Village.

Objective 1-2.5 of the CDMP is to “indicate land for public and private parks and recreation facilities”; as depicted on the Village’s Future Land Use Map, the Club is designated “PR”, or Parks and Recreational Facilities Use. The Club is proud of its status as a premier park in the Village and maintains the facilities in this spirit.

- 4. Proper use of mitigative techniques.** The conditional use and site plan shall incorporate mitigative techniques needed to prevent adverse impacts to adjacent land uses. In addition, the design scheme shall appropriately address off-site impacts to ensure that land use activities in the immediate vicinity, including community infrastructure, are not burdened with adverse impacts detrimental to the general public health, safety and welfare.

As detailed further above, and as depicted on the Photometric Plan, in no instance does light spillage exceed the Village’s allowable threshold on any neighboring properties. In addition, the Club maintains an extensive landscape buffer to shield any potential light spillage from the Property. Further, in accordance with Division 5.25 and consistent with its current practice, the Club will not operate tennis court lighting between the hours of 10:00 p.m. and 8:00 a.m.

- 5. Hazardous waste.** No conditional use which generates hazardous waste or uses hazardous materials shall be located in the village unless the specific location is consistent with the comprehensive development master plan, land development code, and does not adversely impact wellfields, aquifer recharge areas, or other conservation resources, as may be applicable now or in the future. The proposed use shall not generate hazardous waste or require use of hazardous materials in its operation unless the village council approves conditions requiring mitigative techniques designed to prevent any adverse impact to the general health, safety and welfare. The plan shall provide for appropriate identification of hazardous waste and hazardous material, and regulate its use, storage and transfer consistent with best management principles and practices.

Not applicable; the proposed use shall not generate any hazardous waste.

March 23, 2023
Royal Palm Tennis Club / Minor Site Plan Modification and Conditional Use Application

GREENBERG
TRAURIG, P.A.

03/23/23

CONCLUSION

We look forward to working with you as we make improvements to the Club that will allow us to remain a premier tennis facility and asset to the Village. As always, we are so appreciative of the collaborative and professional way the Village and its staff conducts business. Should you require any additional information, do not hesitate to contact us.

Best regards,



Marissa A. Neufeld, Esq.

Enclosures

cc: Royal Palm Tennis Club, Inc.
Alan Rosenthal

ACTIVE 68607772v4

PINECREST

06-14-23

EXHIBIT "A"



Detail by Entity Name

Florida Not For Profit Corporation
ROYAL PALM TENNIS CLUB, INC.

Filing Information

Document Number	701503
FEI/EIN Number	59-0937231
Date Filed	10/05/1960
State	FL
Status	ACTIVE
Last Event	REINSTATEMENT
Event Date Filed	08/29/1986

Principal Address

7001 S.W. 98TH STREET
MIAMI, FL 33156

Changed: 08/29/1986

Mailing Address

7001 S.W. 98TH STREET
MIAMI, FL 33156

Changed: 08/29/1986

Registered Agent Name & Address

HERRON, Andrew R
Homer Bonner Jacobs
1441 Brickell Avenue
1200 Four Seasons Tower
Miami, FL 33131

Name Changed: 03/05/2015

Address Changed: 09/17/2019

Officer/Director Detail

Name & Address

Title Treasurer

Orth, Douglas J
8575 SW 113th Terrace
MIAMI, FL 33156

Title President

Sanz, Joan
7017 SW 148 Terrace
Miami, FL 33158

Title VP

Battle, Timothy
7850 NW 146 St
200
Miami Lakes, FL 33016

Annual Reports

Report Year	Filed Date
2021	04/07/2021
2022	04/29/2022
2023	01/26/2023

Document Images

01/26/2023 -- ANNUAL REPORT	View image in PDF format
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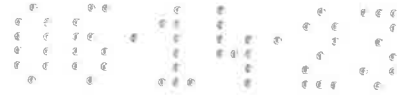
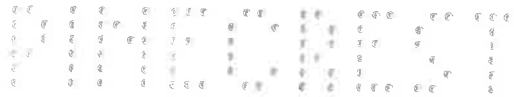
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BY-LAWS OF THE ROYAL PALM TENNIS CLUB

ARTICLE I

Name and Principal Office

The name of this Corporation is the “Royal Palm Tennis Club, Inc.” and its Principal Office is located at 7001 SW 98th St., Miami, Fl 33156. The Corporation is referred to in these By-Laws as “Royal Palm Tennis Club” or the “Club.”

ARTICLE II

Mission

The mission of the Club is to operate, maintain and improve the Royal Palm Tennis Club as a private, non-profit club for the purpose of enabling its members to learn and play the game of tennis and engage in other social activities in an atmosphere of sportsmanship and friendship.

ARTICLE III

Members and Membership

Section A. Membership Categories

1. Voting Members

a. Active Members

Active Members have all the privileges pertaining to Membership in the Club pursuant to rules and regulations governing Active Memberships established from time to time by the Board of Directors. The total number of Active Members shall not exceed 290.

2. Non-Voting Members

a. Social Members

Social Members are Active Members who have applied and been approved for Social Membership and voluntarily relinquished their tennis playing privileges at the Club pursuant to rules and regulations governing Social Memberships established from time to time by the Board of Directors. An Active Member may not apply for Social Membership until they have been Active Members for at least 2 years. The total number of Social Members shall not exceed 60.

b. Non-Resident, Semi-Active Members

Non-Resident, Semi-Active Members are Active Members who reside outside of Miami-Dade County for at least six consecutive months each calendar year, have been Active Members for at least 20 years and who have applied and been approved for Non-Resident, Semi-Active Membership pursuant to rules and regulations governing Non-Resident, Semi-Active Memberships established from time to time by the Board of Directors.

c. Family Founder Members

Family Founder Members are (i) children of Voting Members and (ii) Junior and/or Collegiate Members who have applied and been approved for Family Founder Membership pursuant to rules and regulations governing Family Founder Membership established from time to time by the Board of Directors. The total number of Family Founder Members shall not exceed 10% of the total number of Active Members.

d. Junior Members are all non-voting members

A. Junior A Members are children of non-members between the ages of 10 and 21, inclusive, who have applied and been approved for Junior A Membership pursuant to rules and regulations governing Junior A Membership established from time to time by the Board of Directors. The total number of Junior A Members shall not exceed 35.

B. Junior B Members are children of non-members age 21 and under, who have applied and been approved for Junior B Membership pursuant to rules and regulations governing Junior B Membership established from time to time by the Board of Directors. Junior B Members shall have limited playing time privileges as established from time to time by the Board of Directors. The total number of Junior B Members shall not exceed 265.

C. Summer Junior Members are children of non-members up to and including the age of 18, who have applied and been approved for Summer Junior Membership pursuant to rules and regulations governing Summer Junior Membership established from time to time by the Board of Directors. Summer Junior Members shall have limited

playing time privileges essentially during the Summer months as established from time to time by the Board of Directors.

e. Collegiate Members

Collegiate Members are Junior Members who have become full time college students and have applied and been approved for Collegiate Membership pursuant to rules and regulations governing Collegiate Membership established from time to time by the Board of Directors.

f. Young Members

Young Members are between the ages of 22 and 34, inclusive, who have applied and been approved for Young Membership pursuant to rules and regulations governing Young Membership established from time to time by the Board of Directors.

g. Non-Resident Members

A Member who moves his principal residence outside of Miami-Dade County, may, upon application to and approval by the Board of Directors, become a Non-Resident Member pursuant to rules and regulations governing Non-Resident Memberships established from time to time by the Board of Directors. An Active Member may not apply for Non-Resident Membership until they have been Active Members for at least two years.

h. Golden Members

A Member who has been a Voting Member for fifty (50) consecutive years shall be entitled to become a Golden Member pursuant to rules and regulations governing Golden Membership established from time to time by the Board of Directors.

i. Wait List Members

A Wait List Member is an applicant who has applied for and been approved for membership in the Club, but is waiting to for a Certificate to become available for purchase. A Wait List Member has limited club privileges as established by rules and regulations governing Wait List Membership established from time to time by the Board of Directors.

j. Additional Categories of Membership

The Board of Directors may, from time to time, establish additional categories of Membership. In addition, the Board of Directors may, from time to time,

remove or modify existing categories of Membership other than Certificate holder membership categories.

Section B. Certificates of Membership

1. General

Certificates of Membership, in the form determined by the Board of Directors, shall be maintained in books under the Secretary's control and issued in consecutive order under the corporate seal of the Club. Certificates shall be numbered and registered in the order in which they are issued and shall be signed by the President and the Secretary. The name of the person owning the interest represented by the Certificate and the date of issuance shall be entered on the stub of each Certificate. All Certificates returned to the Club shall be cancelled by the Secretary and posted in their original place in the Certificate books.

2. Sale of Certificates

a. Procedure

A Certificate holder wishing to sell their Certificate shall so notify the Secretary in writing and shall surrender the Certificate to the Secretary, properly endorsed to the Club. No Member shall publicly advertise or permit the Certificate to be publicly advertised for sale. A surrendered Certificate shall be sold to an approved applicant for membership in the Club in the order in which it is surrendered to or acquired by the Club. Immediately upon the sale of a surrendered Certificate to an approved applicant, the seller of the surrendered Certificate shall be paid an amount equal to the total current value, i.e., the original amount paid by the seller for the Certificate plus any additions, of the surrendered Certificate. In no event shall payment be made to the seller of a surrendered Certificate prior to its sale to an approved applicant.

b. Sale to Approved Applicant

The Club shall maintain a list of approved applicants for Membership and the sale of available Certificates shall be made only to approved applicants at fees which have been fixed by the Board and are in effect at that time, in the order in which the applications have been approved.

c. Transfer of Certificates

Except as set forth herein, transfer of Certificates shall be made only by appropriate notation in the books of the Club after the surrender of the Certificate. In any case where the Club is entitled to the Certificate and the person or party in possession of the Certificate is unable or refuses to

surrender it, the Secretary shall, pursuant to the direction of the Board of Directors, mark on the stub of such Certificate a cancellation notation, to the effect that the Certificate is null and void and all rights thereunder have terminated. Thereafter, the Club may issue a new Certificate as though such cancelled Certificate had been surrendered. Every power of attorney or authority to transfer Certificates shall be in writing, duly executed and filed with the Secretary.

A member who has been a Member for more than 15 years may transfer his/her Certificate to an adult son or daughter over the age of 26 years, who shall become a Voting Member of the Club in place of the original Member, provided that:

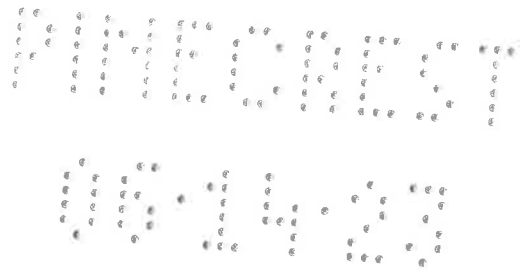
The prospective new member shall have first applied and been accepted for membership in accordance with the existing process, except that only 50% of the then current Initiation Fee shall be due;

Any dues or other debts owing to the Club by the original Member shall be paid in full; and

The prospective new Member shall have paid the difference in cost, if any, between the Certificate issued to the original Member, and the current cost of a Certificate.

d. Death or Divestiture

When a Member dies or is divested of Membership in any manner whatsoever, all of the rights and privileges pertaining to such Membership shall be terminated immediately, provided, however, that the person or party having title to the Certificate shall be entitled to the proceeds of sale of the Certificate, subject to the payment to the Club of any lien on the Certificate or any dues or other debts owing to the Club by its former owner. In the event of the Death of a Member, the surviving spouse, if any, of the deceased Member shall have preference in acquiring the deceased Member's Certificate, in accordance with procedures pertaining thereto established from time to time by the Board of Directors. If the surviving spouse of the deceased Member does not desire to acquire the deceased Member's Certificate, or if there is no surviving spouse, dues for the current year shall accrue only to the end of the quarter in which the death of the deceased Member occurs. The sales price of a Certificate to a surviving spouse shall not exceed the price paid to the estate of the deceased Member for the deceased Member's Certificate. If, as a result of a gift, divorce decree, or other legal settlement, a Member's spouse acquires a Certificate, the spouse shall have preference in being granted Membership in the Club, in accordance with the procedures pertaining thereto established from time to time by the Board of Directors.



Section C. New Members

1. Applications

A person who desires to become a Member of the Club must complete an application in the form approved by the Board of Directors. The completed membership application must be delivered to the Club along with the required fees as may be established from time to time by the Board of Directors. After examination of the membership application for completeness and receipt of the required fees, the application shall be referred to the Membership Committee.

2. Posting of Applicants

An applicant's name and photograph shall be posted on the Club bulletin board for a period of time as may be established from time to time by the Board of Directors prior to the Membership Committee's action on the application.

3. Election of New Members

The Membership Committee shall, after careful examination, either reject the application or recommend its approval to the Board of Directors. If a favorable recommendation of the Membership Committee is approved by a majority of the Board of Directors, the applicant will be elected as a Voting Member of the Club. After notification of their election, and provided that a Certificate is available for purchase, the newly elected Member must purchase their Certificate within 30 days of his notification, provided, however, that no Certificate of Membership shall be issued to a newly elected Member unless all fees and dues are paid in full. If a newly elected Member cannot purchase an available Certificate within the 30-day period following notification, their name may be moved to the bottom of the waiting list without affecting their Membership approval, but they will no longer be entitled to Club privileges available to Wait List Members. If the newly elected Member is unable to purchase the Certificate the second time it is offered, their election as a Voting Member shall be automatically rescinded and they will no longer be considered for Membership in the Club at that time. Nothing herein shall prevent this person from applying for Membership in the Club at a later date.

Section D. Privileges of Membership

1. Membership Types for Voting Members

Privileges of the Club shall be extended to Voting Members based on the following membership types:

- a. Family Membership: Privileges of the Club are available to the Voting Member and his/her spouse or cohabiting partner and to his/her children and their spouses or cohabiting partners up to the age of 26.

- b. Two-Person Membership: Privileges of the Club are available to the Voting Member and his/her spouse or cohabiting partner, but not to their children or their spouses or cohabitating partners.
- c. Single Membership: Privileges of the Club are available to the Voting Member only.

2. Board Service

Notwithstanding the foregoing, unmarried cohabiting partners of Voting Members may not serve on the Board of Directors.

Section E. Mailing Address

Every Member shall furnish the Club a current mailing address (which may include an e-mail address) and a current billing address (which may be the same as the mailing address) to which communications and notices prescribed by these By-Laws and bills may be sent. Notices shall be considered to have been duly given if mailed or e-mailed by the Club to the mailing or e-mail address furnished by the Member.

Section F. Violation of By-Laws and Rules

All Members, Members' families and guests shall comply with these By-Laws and the rules and regulations adopted from time to time by the Board of Directors. If any Member or their family or guests violates these By-Laws or the Rules and Regulations adopted by the Board of Directors, or is guilty of conduct which, in the opinion of the Board of Directors, is prejudicial or injurious to the interests, welfare or character of the Club, the Board of directors may, by an affirmative vote of 2/3 of its members, present at a duly called meeting, suspend such Member from any or all privileges of the Club for a period of time of not more than one year, or may expel such Member from Membership in the Club. Prior to any disciplinary action, the charges must be furnished to the Member and an opportunity afforded to the Member to appear and be heard before the Board. After the hearing has been concluded, the action taken by the Board of Directors shall be final, with no right of appeal.

Section G. Expulsion

If a Member is expelled from Membership in the Club, his/her Certificate of Membership shall be surrendered to the Club and sold in accordance with the provisions of these By-laws.

Section H. Resignation

A Member may resign from Membership in the Club by delivering a letter of resignation to the Club. The resignation shall be effective immediately or on the date stated in the

letter of resignation, subject to the Member being current on all dues and other charges. Dues for the year in which a Member resigns shall accrue only to the end of the quarter in which the Member resigns.

ARTICLE IV

Meetings

Section A. Annual Meeting

The Annual Meeting of the Members of the Club (hereinafter the "Annual Meeting") shall be held at the Principal Office of the Club on the fourth Tuesday of January of each year, or at such other time or place as may be set by the Board of Directors.

Section B. Special Meetings

Special Meetings may be held at any time by the order of the President or of the Board of Directors or shall be called upon written request of 50 Voting Members. A Special Meeting request shall state the purpose or purposes of the requested Special Meeting.

Section C. Notices

Notices of all meetings of Voting members, stating the time and place, and, in the case of Special Meetings, the purpose or purposes for which the meeting is called, may be delivered personally, sent by US mail, e-mail or fax not less than ten days prior to the date set for such meeting.

Section D. Quorum

The presence in person or by proxy of ten percent of the total number of Voting Members shall be necessary to constitute a quorum at an Annual or Special Meeting. The maximum number of Members that another Member may represent by proxy for quorum and/or voting purposes at an Annual or Special Meeting shall be three. All questions, which come before a meeting shall be decided by a majority of the votes cast.

Section E. Record Date and Good Standing

All Voting Members in good standing are entitled to vote at any meeting of the Members. A Member shall be in good standing if his dues and bills are current and he is not under suspension. A Voting Member who is sixty days or more delinquent in payment of any amounts due the Club is not in good standing. The close of business on the 15th day prior to any meeting shall be the record date for the purpose of determining Voting Members in good standing.



Section F. Agenda

At all Annual or Special Meetings, the business brought before the Meeting shall be limited to that specified in the notice of the Meeting. Provided that written request is given to the President at least 15 days prior to the Annual Meeting, the President shall place on the agenda for the Annual Meeting any matter requested by a Voting Member. In case of dispute as to order and debate, Robert's Rules of Order shall govern.

ARTICLE V

Directors

Section A. Board of Directors

1. Eligibility, Number and Terms

a. Eligibility and Number

The Board of Directors shall consist of 16 persons, each of whom shall be over the age of 21 and 15 of whom shall be either an Active Member in good standing for at least three years or the spouse of an Active Member in good standing for at least three years. An Active Member and his/her spouse may not both be Directors simultaneously, nor may they succeed each other as Directors in consecutive terms. If, during the term of a Director, the director shall cease to be a spouse of an Active Member, the director's term shall cease immediately and the resulting vacancy on the Board of Directors shall be filled in accordance with the provisions of Paragraph 3 of this Section A. The 16th Director shall be a Young Director appointed by the Board of Directors pursuant to the provisions of Paragraph 2c of this Section A.

b. Terms

The Voting Members shall elect five Directors each year, each of whom shall serve for a term of three years. No Director may serve consecutive terms, provided, however that this provision will not apply to a Director appointed pursuant to the provisions of Paragraph 3 of this Section A. The immediate past President, if not otherwise serving as a Director, shall serve on the Board of Directors for a period of one year during which period the Board of Directors shall consist of 17 members.

2. Nomination and Election of Directors

a. Nomination

At least 30 days prior to the Annual Meeting, the Nominating Committee shall deliver to the Secretary its list of eight nominees of Active Members, or spouses who have indicated their willingness to serve as Directors. The Secretary shall immediately (i) post the list on the Club bulletin Board and (ii) mail the list to all Voting Members, along with a list of the Voting Members and a letter stating that additional nominations may be submitted on petition of ten Voting Members in good standing, provided such petitions are delivered to the Secretary at least 15 days prior to the Annual Meeting. The nominees, as proposed by the Nominating Committee and as proposed by petition, if any, shall thereupon become the nominees for Director.

b. Election

At least 15 days prior to the Annual Meeting, the Secretary shall mail a ballot containing a list of all nominees printed in alphabetical order to each Voting Member in good standing with instructions that each Voting Member must vote for exactly five nominees for Director, otherwise the ballot will be void. The Secretary's letter shall further state that all ballots must be mailed to the Club in time to reach the Club prior to the Annual Meeting or deposited in the ballot box at or before the time fixed for the Annual Meeting. All ballots received by the Club shall be deposited in the ballot box. The ballot box containing all of the ballots shall be delivered to the Election Committee for tabulation at the beginning of the Annual Meeting. The Election Committee shall report the five nominees receiving the highest number of votes to the President of the Club as soon after commencement of the Annual Meeting as possible and the winning nominees shall at that time be declared by the President to have been elected to the Board of Directors to serve for a term of three years from the date of the election, or until such time as their successor or successors are elected and qualified to act. In the event of a tie vote, a secret ballot shall be taken at the Annual Meeting by those Voting Members present, without additional nominations.

c. Young Director

At each February meeting of the Board of Directors, the Board of Directors shall appoint a Young Director, who shall serve until the next February meeting of the Board of Directors. The Young Director must be in good standing between the ages of 21 and 35 and either (i) a Voting Member or the spouse of a Voting Member, (ii) a Family Founding Member or the spouse of a Family Founding Member, or (iii) a Young Member or the spouse of a Young Member.

3. Vacancy

Any vacancy on the Board of Directors, however arising, shall be filled by an appointee of the Board of Directors, who shall serve until the next Annual Meeting of

the Members of the Club, at which meeting the Members shall elect a new Director in the manner prescribed in Paragraph 2b of this Section A for the unexpired term of the Director whose absence created the vacancy. If the vacancy exists in the Young Director position, the Board of Directors shall appoint a new Young Director who shall serve until the next February meeting of the Board of Directors

Section B. Removal

If a Director misses three consecutive meetings of the Board of Directors, he may be removed as a member of the Board by affirmative vote of the majority of the Board Members.

Section C. Meetings

1. Regular Meetings

Regular meetings of the Board of Directors shall be held monthly at such time and place as may be designated by the President or a majority of the Board of Directors. The Annual Meeting of the Board of Directors shall be held immediately following the Annual Meeting of the Members of the Club for the purpose of organization, the election of Officers and the transaction of such other business as may come before it. Notice shall not be required for the Annual Meeting of the Board of Directors.

2. Special Meetings

Special Meetings of the Board of Directors may be called by the President or by application to the Secretary by three Directors.

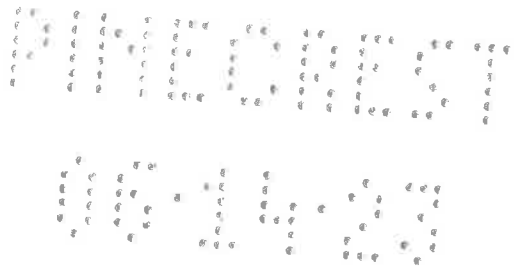
3. Quorum of Directors

A majority of the Board of Directors shall constitute a quorum for the transaction of business at a meeting and a vote of a majority of the Board Members present (in person or as provided in Section 6) shall be the act of the Board of Directors.

4. Notices and Waiver of Notice

a. Notices

Notice of a Regular Meeting shall be given at least seven days in advance of the meeting and notice of a Special Meeting shall be given at least four days in advance of the meeting. Notice of a Regular or Special Meeting shall be given by the Secretary and shall state the time and place for the meeting, and in the case of a Special Meeting, the purpose of the meeting. Notice of any Regular or Special meeting may be delivered personally, sent by US mail, e-mail or fax.



b. Waiver of Notice

A Board Member may waive notice of any meeting by submitting a signed waiver before or after the meeting. Attendance of a Board Member at a meeting shall constitute waiver of notice of such meeting except where the Board Member protests the lack of notice to him, prior to the meeting or at its commencement.

5. Action Without Meeting

Any action required or permitted to be taken by the Board of Directors may be taken without a meeting if a super-majority consisting of 12 or more of all Board Members other than the President consent in writing or e-mail to the adoption of a resolution authorizing the action. At least three Members of the Board of Directors must jointly propose a resolution made in writing including any made by e-mail, for the Board of Directors to vote upon it by written consents or by e-mail without a meeting. Any resolution so approved and the written consents thereto shall be filed with the minutes of the Board of Directors.

6. Electronic Participation in Meetings

Any one or more Board members may participate in a meeting by means of a conference telephone or similar communication equipment allowing all persons participating in the meeting to hear each other at the same time. Participation by such means shall constitute presence at a meeting.

7. Roberts Rules of Order

The current edition of Roberts Rules of Order shall govern meetings of the Board of Directors.

Section D. Powers and Duties of Directors

The Board of Directors is entrusted with the management of the Club and all its affairs and property. In addition, the Board of Directors shall carry out the mission of the Club, with the welfare and general well being of the Club and its members in mind. The Board of Directors shall have the power to elect and remove Officers, to suspend and expel Members, to control all business and affairs of the Club and to make rules and regulations in reference thereto provided they are not inconsistent with the provisions of these By-Laws. All rules and regulations adopted by the Board of Directors shall be circulated by mail and/or email to all Members.

ARTICLE VI

Officers

Section A. Numbers, Titles and Duties

1. President

The President shall be the chief executive officer of the Club and shall preside at all meetings of the Club and of the Board of Directors. The President or Secretary shall sign all written contracts and obligations of the Club. The President shall be a member ex-officio of all committees except the Nominating Committee. The President shall perform the duties provided for in the By-Laws, such other duties as may be assigned to him by the Board and the normal and customary duties of this office.

2. Vice President

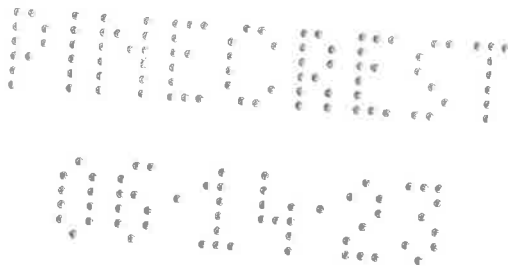
In case of the disability or of the absence of the President, the Vice President shall perform the President's duties. The Vice President shall perform such other duties as may be assigned from time to time by the Board of Directors.

3. Secretary

The Secretary shall give notice of all meetings of the Club and of the Board of Directors, keep minutes of such meetings and maintain the records of the Club and of the Board of Directors. The Secretary shall also notify persons elected to Membership of their election and shall keep an accurate list of names and mailing addresses of all Members, which list shall be open at reasonable hours for inspection by any Member. The Secretary shall also perform the normal and customary duties of his office, the duties provided for elsewhere in these By-Laws and such other duties as may be assigned by the Board of Directors or the President.

4. Treasurer

The Treasurer shall collect all fees, dues and revenue and keep the accounts of the Club, and report thereon at each meeting of the Board of Directors. The Treasurer shall pay all bills when approved by the proper Officer or committee having authority from the Board of Directors to make the expenditure. The Treasurer's accounts shall be reviewed annually by the Finance Committee, following which a balance sheet and profit and loss statement shall be prepared and posted at the Clubhouse or otherwise made available to the members. The Treasurer shall be a Member ex-officio of the Finance Committee. The Treasurer shall also perform the normal and customary duties of this office, the duties provided for elsewhere in these By-Laws and such other duties as may be assigned by the Board of Directors or the President.



Section B. Disability

In the event of disability or of the absence of both the President and the Vice President, the Board of directors may, by a majority vote of the entire Board, elect one of the Board Members to act as President pro tem as long as such disability or absence shall continue.

ARTICLE VII

Standing Committees

Section A. Appointments

With the exception of the Membership Committee, all standing committee members and committee chairmen shall be appointed by the President subject to the approval of the Board of Directors. All standing committee chairmen report to the President. All standing committees shall consist of not less than three and not more than five members, except as specifically provided in these By-Laws.

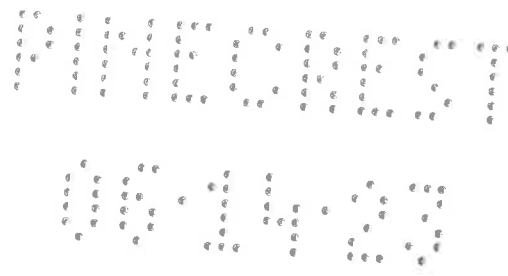
Section B. Committee Description

There shall be the following standing committees: Tennis, Finance, Buildings and Grounds, Membership, Nominating, Legal Advisory, Entertainment and Pro Shop. The President at the meeting of the Board of Directors that precedes the Annual Meeting shall appoint an Elections Committee. In addition, the Board of Directors may designate such other committees as the Board of Directors may deem necessary or desirable from time to time. In general, the standing committees shall perform such duties as indicated by their title and shall recommend to the Board of directors such rules and regulations as they may deem necessary or desirable. Members of all standing committees shall serve for a period of one year or until their successors are appointed.

Section C. Committee Duties and Responsibilities

1. Tennis Committee

The Tennis Committee shall arrange and have supervision of all tennis events, including tournaments and other specially arranged tennis events. The Tennis Committee shall have general charge of the supervision and maintenance of the tennis courts, including direction and management of play, and it shall recommend to the Board of Directors rules and regulations in regard thereto. The Tennis Professional shall assist the Tennis Committee whenever requested. In the absence of contrary rules adopted by the Board of Directors, play and policies shall be governed by the rules and policies of the United States Lawn Tennis Association. The Tennis Professional shall be responsible for the enforcement of rules and regulations governing tennis play.



2. Finance Committee

a. Composition

The Finance Committee shall consist of the Treasurer and three Members. This committee shall periodically review the financial condition of the Club and make recommendations regarding such condition to the Board.

b. Budget

In November of each year the Finance Committee shall submit a proposed budget to the Board for the next calendar year. If approved, the Board shall recommend the proposed budget to the Members for approval at the next Annual Meeting of the Members of the Club. The approved budget shall be final and no other expenditure of Club funds shall be made or contracted for during the year except upon the three-fourths vote of the Board Members present at any regular or special meeting.

c. Audit

Prior to the Annual Meeting of the Members of the Club, the Finance Committee shall investigate the financial condition of the Club, and report on the operation of the budget for the preceding year. The Committee may employ auditors and accountants to assist in preparation of the report. All Officers, committees and Members shall make their records available and otherwise assist in preparing such reports.

3. Buildings and Grounds Committee

The Buildings and Grounds Committee shall have general charge of the supervision and maintenance of the buildings, parking lots, landscaping and shrubbery, and all outside equipment.

4. Membership Committee

The President shall appoint the Chairman and Members of the Membership Committee whose identity shall be known only to the President and the Secretary. Members of this committee shall hold office for one year or until their successors are appointed. The Membership Committee shall consist of five Members, including the Chair and it shall fix its own time and place of meetings.

The Membership Committee shall receive, consider and treat confidentially all communications to the persons proposed for Membership, and shall make careful examination of their qualifications. The Membership Committee shall pass upon each

name separately and a majority vote of the Committee shall be necessary for approval of the proposed Member.

All proceedings of the Membership Committee shall be secret and confidential.

5. Nominating Committee

The Nominating Committee shall consist of five Members, two of whom shall be Members of the Board of Directors whose terms of office do not currently expire and three of whom shall be the most recent Past Presidents who may or may not be Board members.

6. Legal Advisory Committee

The Legal Advisory Committee shall consist of three Members, at least two of whom shall be actively practicing law.

7. Entertainment Committee

The Entertainment Committee shall consist of at least seven Members and their spouses or partners. The committee shall arrange and have supervision of all social activities of the Club, subject to review and approval by the Board of Directors.

8. Pro Shop Committee

The Pro Shop Committee shall have general charge of the supervision, staffing, and operation of the Pro Shop. The Committee Chairman reports to the President and shall act as the focal point for the Board of Directors, Head Pro, other Committee Chairmen, and members regarding operation of the Pro Shop.

9. Pro Services Committee

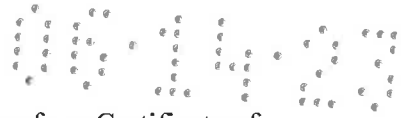
The Pro Services Committee shall have general charge of the supervision of Pro Services subject to review and approval by the Board of Directors.

ARTICLE VIII

Certificates, Fees, Dues and Indebtedness

Section A. Assessments

The Board of Directors shall not levy any assessment against the Membership unless approved by the Voting Members. For the purpose of these By-Laws, an increase in the value of a Certificate shall not be considered an assessment requiring Voting Member approval.



Section B. Certificate of Membership

The Board of Directors shall, from time to time, set the price for a Certificate of Membership.

Section C. Annual Dues

The Annual Dues shall be set by the Board from time to time. Dues are due and payable on the first day of January each year. Dues may be paid in four equal installments on the first day of January, April, July and October of each year. Any indebtedness to the Club, except dues, becomes payable when the monthly statement is mailed. When a new Member joins the Club, dues shall be prorated on a monthly basis to the end of the year.

Section D. Fees

The Board of Directors may, from time to time, set application and initiation fees for prospective and new Members.

Section E. Default

Any Member, in default in the payment of fees, dues or other indebtedness for a period of 60 days may be suspended or expelled by the Board of Directors or may be the subject of such lesser disciplinary action as the Board deems appropriate.

ARTICLE IX

General Provisions

Section A. Employees

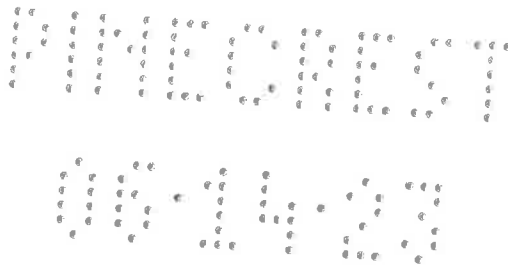
The Board of Directors may, from time to time, employ such Club personnel, tennis professionals and other employees as the Board deems desirable. The Board shall determine the duties, responsibilities, compensation, tenure and other conditions of employment of such employees.

Section B. Receipt of Funds

No employee of the Club, with the exception of the Treasurer or other person designated by the Board of Directors, shall be permitted to receive any money due the Club.

Section C. Bond

A bond shall be purchased by the Club to insure the faithful handling of funds by all officers or employees who have charge of handling of Club funds.



Section D. Sales and Gratuities

No employee of the Club shall be permitted to sell any merchandise or articles of any kind upon the premises of the Club, except as authorized by the Board of Directors. A Member may not give a gratuity to any employee of the Club.

Section E. Disbursement of Funds

All checks, drafts, or orders for the payment of money shall be signed by the Treasurer or Secretary and countersigned by the President or the Vice President; however, the Board of Directors may also delegate the authority to sign checks to one or more employees.

Section F. Calendar Year

The Club shall operate on a calendar year basis beginning on January 1 and ending on December 31st.

Section G. Miscellaneous

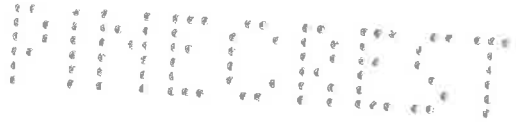
As used herein, the pronouns “he”, “him”, and “his” shall also refer to similar pronouns of the feminine gender, “they” and “their” shall refer to masculine and feminine singular and plural, and the singular shall be deemed to include the plural. In addition, the words “Board” and “Board of Directors” and “Certificate” and “Certificate of Membership” are used interchangeably and have identical meanings.

Section H. Dissolution

The dissolution of the Club, and the subsequent disposition of its assets may be authorized only by the vote of at least 2/3 of the Voting Members at an Annual Meeting or a Special Meeting called for that purpose. If the Club is dissolved, each Member holding a Certificate shall be entitled to a pro-rata share of the property and assets of the Club up to their full Certificate valuation at that time.

Thereafter, any additional proceeds from the dissolution shall be paid to the Certificate holders on a pro-rata basis, determined as follows: For each individual Certificate holder, the amount of additional proceeds shall be multiplied by a fraction, the numerator of which shall be the number of years the Certificate holder has been a Member of the Club and the denominator of which shall be the total Member years of all the Certificate holders combined.

<u>Example:</u>	Assume the following:	
	Additional proceeds	\$1,000,000
	Certificate holders	290
	Total Member years of all Certificate holders combined	2,900



Years of membership	
Member A	7.2
Member B	5.9

Member A: $1,000,000 \times 7.2/2,900 =$ **\$2,482.75**

Member B: $1,000,000 \times 5.9/2,900 =$ **\$2,034.48**

ARTICLE X

Seal

The Board of Directors shall provide a suitable seal containing the name of the Club, a designation that the same is a corporation, and the words "1960 Florida" or other appropriate words, which seal shall be in charge of the Secretary, to be used as provided by these By-Laws.

ARTICLE XI

Amendments

Amendments to the By-Laws may be proposed to the Membership by the Board of Directors or by written request of fifty or more Members, addressed to the Board. Proposed amendments to the By-Laws shall be presented at the next Annual Meeting, or at any Special Meeting called for that purpose. These By-Laws may be amended at such Annual or Special Meeting, a quorum being present, by a majority vote of the Members voting in person or by proxy, provided that the notice setting forth the proposed amendment or amendments shall have been mailed to each Voting Member of the Club at least 10 days before the date of such meeting.

PROCESSED

06-14-23

EXHIBIT "B"

Exhibit "B"

Royal Palm Tennis Club Leagues and Programs

Open 7 days a week for social play

- Prime time hours are 8:00 am – 11:00 am & 5:30 – 8:00 pm Monday through Friday
- Prime time hours are 8:00 – 11:00 am Saturday & Sunday

Clinics

- Adult clinics
 - o Women's Clinic (Monday) – 16 plays
 - o Women's Cardio (Thursday) – 8 players
 - o Men Cardio (Monday's) – 8 players
- Junior Clinics
 - o Academy (Tuesday – Friday) – 40 Juniors
 - o Intermediate (Tuesday & Thursday) – 40 Juniors
 - o Beginner (Monday & Tuesday) – 40 Juniors
 - o Tiny Tots (Monday & Tuesday) – 15 Juniors

Camps

- Summer Camp offered 5 days a week, full and half day options (June – August)
 - o 60 kids
- Academy Summer Camp offered 5 days a week (June - August)
 - o 40 kids

Private Lesson

- Up to 10 courts are used at a time for private lessons throughout the day, Monday – Friday
- Up to 4 courts are used at a time for private lessons throughout the day, Saturday & Sunday

PRECEDENT

06-14-23

EXHIBIT "C"



Dynamic Engineering Consultants, PC

100 NE 5th Avenue, Suite B2

Delray Beach, FL 33483

T. 561-921-8570

May 31, 2023

Village of Pinecrest
Building & Planning Department & Code Compliance
12645 Pinecrest Parkway
Pinecrest, Florida 33156

Attn: Building & Planning Department

Royal Palm Tennis Club, Inc.
7001 SW 98th St, Pinecrest, FL 33156
Parcel No.: 20-5002-000-0721

Royal Palm Tennis Club, Inc. (the "Owner & Applicant") is the owner and operator of the existing +/- 8.89 acre private tennis and recreational club located at 7001 SW 98th St in the Village of Pinecrest, FL (Folio No. 20-5002-000-0721). The property currently has a Zoning Designation of 'PR - Parks and Recreational Facilities' and has a Future Land use Designation of 'PR - Parks and Recreational Facilities' based on the Village of Pinecrest's Future Land Use 2025 map. The current property usage and existing development are aligned with the Conditional Use design specifications outlined in the City of Pinecrest's Code of Ordinances - Land Development Regulations. The Owner & Applicant is proposing the demolition of an existing +/- 2,600 SF clubhouse and the addition one (1) competition tennis court, four (4) pickleball courts, and one (1) practice wall, along with regrading and repaving of the surrounding on-site parking lot, stormwater infrastructure to serve the new courts and additional parking, and the addition of a berm located along the west and south sides of the existing clay tennis courts.

Royal Palm Tennis Club (the "Project"), initially constructed in 1960, serves the primary purpose of providing courts and related facilities for their members to enjoy the game of tennis. The Project has expanded and improved over the years, and currently has 21 existing tennis courts and a 9,000 SF clubhouse and patio, constructed in 2011. The subject property is bounded on the North, West, and South by public roadways, and to the East by five (5) Single-Family Residences, with current Zoning Designation EU-M.

By review of the Village of Pinecrest Land Development Review Handbook, Section 3.4, the following documentation will be required for the approval of any improvements.

1. Minor Site Plan Modification and Conditional Use Application

The Owner & Applicant and consultant team have worked diligently on the above application submittal packages to propose an overall project with the following features, in addition to the existing improvements already located on the site:

A. Proposed Site Features:

- a.** One Competition Tennis Court
- b.** Four Pickleball Courts
- c.** Two 'Chickee' Huts
- d.** One Practice Wall
- e.** On-site parking lot, with total of 96 parking spaces

B. Proposed Drainage and Paving Improvements:

- a.** Stormwater Management Infrastructure
 - i.** The proposed drainage improvements are intended to provide stormwater storage, attenuation, and water quality treatment. This is in line with the industry-standard best management practices.
 - ii.** The proposed drainage improvements serve the area with the greatest amount of proposed pavement.
 - iii.** Proposed berm located along the west and south sides of the existing clay tennis courts to counteract aggregate runoff.
- b.** Pavement improvements include the following proposed paved surfaces for vehicular use and pedestrian use areas:
 - i.** Standard Duty asphalt
 - ii.** Standard Duty Concrete
 - iii.** Heavy Duty Concrete

No utility improvements are proposed as part of this project, additionally no added utility demand is anticipated as part of the proposed improvements in this project.

We look forward to a favorable review by the Building & Planning Department of this proposed Project.

Sincerely,
Dynamic Engineering Consultants, P.C.

Michael D. Miles, P.E.

Regional Manager/Principal

Cc: Client – Royal Palm Tennis Club, Inc.
File

PINECREST



CU 2023-0001

VILLAGE OF PINECREST
Building & Planning Department

PUBLIC HEARING APPLICATION

Administrative Review Application

- Please check one:
- VILLAGE COUNCIL
 - PLANNING BOARD
 - ADMINISTRATIVE REVIEW

OFFICIAL USE ONLY
Application No. _____
Date Received: _____

INSTRUCTIONS

This application, with all supplemental data and information, must be completed in accordance with the specific instructions in this application. Applications and all supplemental information must be filed no later than 60 days prior to the regular public hearing date.

APPLICATION

Please indicate which type of application you are submitting by checking one category below:

- | | |
|---|---|
| <input type="checkbox"/> Change in Zoning District | <input type="checkbox"/> Plat |
| <input type="checkbox"/> Variance | <input type="checkbox"/> Entry Feature |
| <input type="checkbox"/> Appeal of Decision | <input checked="" type="checkbox"/> Site Plan |
| <input checked="" type="checkbox"/> Conditional Use | <input type="checkbox"/> Other _____ |

IMPORTANT: THE APPLICANT, OR REPRESENTATIVE, MUST BE PRESENT AT THE HEARING TO PRESENT THE PROPOSAL.

Please print or type

Name of Applicant, agent or tenant (with owner's affidavit) Royal Palm Tennis Club, Inc./co Marissa A. Neufeld /Greenberg Traurig, P.A.		
Mailing Address 7001 SW 98th Street	City, State, Zip Pinecrest, FL 33156	Telephone 305-579-0825 Email neufeldm@gtlaw.com
Name of Owner Same as Applicant		
Mailing Address Same as Applicant	City, State, Zip	Telephone Email

PROPERTY INFORMATION

A. LEGAL DESCRIPTION. (If subdivided – lot, block, complete name of subdivision, plat book and page numbers).
If metes and bounds description – Complete description, including section, township and range).

Folio Number 20-5002-000-0721

Address 7001 SW 98th Street

Lot(s) _____ Block _____ Section _____ Plat Book No. _____ Page No. _____

See Exhibit "A" attached.

FINISHED FLOOR ELEVATION (If applicable): _____ FLOOD _____ ZONE _____

Revised 8/2016

All data and exhibits submitted in connection with this application become a PERMANENT PART OF THE PUBLIC RECORDS OF THE VILLAGE OF PINECREST.

The following enclosures where applicable MUST BE ATTACHED to complete the application:

- A. **SURVEY OF PROPERTY:** For vacant or improved property. Must be no more than five years old and sealed by a registered land surveyor. The Building and Planning Department may require a more recent survey if a site visit indicates any discrepancies. Survey must include, where applicable, lot lines, all structures, walls, fences, landscaping, and all physical improvements.
- B. **SITE DEVELOPMENT PLAN:** Where applicable, plans shall show location and elevations of existing and proposed buildings, proposed additions, alterations and use of each; all dimensions of buildings and space between buildings; setbacks from property lines; proposed and existing off-street parking showing lined spaces, driveways, handicap spaces, compact spaces; a landscape plan that complies with Village of Pinecrest Landscape Ordinance showing location of existing and proposed vegetation, landscaping (i.e. trees and hedges), number, height and species type. The plan shall also show wall and fence height, location and material.
- C. **LETTER OF INTENT:** A letter of intent must be filed explaining in detail the extent of the development. Signature and address must be shown.
- D. **OTHER GOVERNMENTS/AGENCIES ENDORSEMENTS:** All applicable DERM, Miami-Dade Fire Department, or the Miami-Dade Water and Sewer Department's endorsement must be submitted.
- E. **OWNER'S AFFIDAVIT:** Owner's affidavit allowing the filing of an application is required on all applications where the applicant is not the owner of the property under consideration; same form allows posting of property.
- F. **TRAFFIC STUDY:** A detailed traffic analysis considering the impacts of the proposed development on current level-of-service (LOS) standards in abutting (or nearby) roads and intersections.

NOTE: SURVEYS, SITE DEVELOPMENT PLANS, LANDSCAPE PLANS MUST BE SUBMITTED AT STANDARD PLAN SIZE AND DRAWN TO AN ENGINEERING OR ARCHITECTURAL SCALE (STRUCTURES ONLY). AN APPLICATION WILL NOT BE CONSIDERED COMPLETE UNLESS 10 COPIES OF THE APPLICATION AND SUPPORTING DOCUMENTATION (FRONT AND BACK), APPROPRIATE PLAN DRAWINGS AND SURVEYS ARE SUBMITTED. **UNLESS DETERMINED OTHERWISE BY THE PLANNING DIRECTOR, ALL PRESENTATION GRAPHICS MUST BE IN POWERPOINT OR OTHER DIGITAL FORMAT.**

In support of this request, I submit the following additional items, which are attached hereto and made a part of this application:

- 35 MM Photo(s) (Mounted 8 1/2 x 11)
- Letters from Area Residents
- Other _____


Please check only one of the following options:

FOR VILLAGE COUNCIL PURPOSES

I/We understand that additional public hearings may be required and any interested person may discuss the application with Village staff to the same extent as the applicant. The application may change during the hearing process and additional public notices may affect the schedule of the hearings. If my/our appeal is denied, I/we must file an appeal to the Circuit Court within 30 days of the meeting.

FOR ZONING BOARD PURPOSES

I/We understand that additional public hearings may be required and any interested person may discuss the application with Village staff to the same extent as applicant. The application may change during the hearing process and additional public notices may affect the schedule of the hearings. If my/our appeal is denied, I/we must file an appeal with the Village Clerk within 14 days of the decision.

03/16/2023  Marissa A. Neufeld

 Date Applicant's Signature Print Name

 Date Applicant's Signature (if more than one) Print Name



B. ADDRESS (If number has been assigned) 7001 SW 98th Street

C. SIZE OF PROPERTY 611 ft. X 634 ft. = 8,899 sq. ft.; 0.204 acre(s)
Width Depth

D. Provide legal description or address of any property held by the owner which is contiguous to that which is the subject matter of this application.

See Exhibit "A" attached.

E. DATE SUBJECT PROPERTY WAS ACQUIRED March 13, 1961

APPLICANT'S PROPOSAL

Specify in full the request. (Use a separate sheet of paper if necessary.)

Refer to Letter of Intent

INTENT

Explain purpose of application, benefit(s) in the change and reasons why this application should be approved. Specify the exact nature of the use or operation applied for, together with any pertinent technical data, which will clarify the proposal. (Use a separate sheet of paper if necessary.)

Refer to Letter of Intent

Is this application the result of a Notice of Violation or deviation from approved plans? Yes No

Are there any existing structures on the property? Yes No

If so, what type? (CBS, Frame, Frame-Stucco, Wood, Other) _____

Any applications (except plat applications) which involve new building construction or exterior improvements to an existing building must submit the plans with this application. Plans that are not filed with this application will not be considered by the Village of Pinecrest.

I/We Royal Palm Tennis Club, Inc. c/o Joan Sanz, President as Owner(s) of Lot(s) _____

Block _____ Section _____ PB/PG _____

of property which is located at 7001 SW 98th Street desire to file an application for a public hearing before the Village Council Planning Board Administrative Review, and I/We do understand and agree as follows:

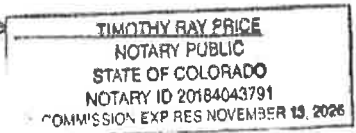
1. That the application for a variance will not be heard unless the applicant is present at the hearing.
2. The property will be posted with a sign, which must not be removed until after the public hearing, at which time the Village staff will remove the sign.
3. That the requirements of the zoning code, Miami-Dade County Ordinances, the Florida Building Code, and other government agencies may affect the scheduling and ability to obtain/issue a permit for the proposal.
4. That the only exceptions to the zoning code are those that have been specified in the written application and any other code or plan issues will be corrected by modifying the plans to comply with the respective codes and ordinances of the Village of Pinecrest or Miami-Dade County ordinances.
5. That the applicant will be responsible for complying with all the conditions and restrictions imposed by the Village Council or Zoning Board in connection with the request and will take the necessary steps to make the request effective if approved by the Village Council or Zoning Board.
6. That it is the responsibility of the applicant to submit a complete application with all of the documents necessary for the Village Council or Zoning Board to hear the applicant's request.
7. That the applicant is responsible for timely submission and accuracy of all items requested on the application.
8. That the applicant is responsible for an additional fee for mailing notice to surrounding property owners and recording of the Development Order as specified by the LDRs.

I/We as the owners of the subject property (check one):

- do hereby authorize Greenberg Traurig, P.A. c/o Marissa A. Neufeld to act on my/our behalf as the applicant.
- will on my/our own behalf act as applicant(s), and make application in connection with this request for a public hearing before the Village Council or Zoning Board.

Owner's Name Royal Palm Tennis Club, Inc. c/o Joan Sanz, President Signature Joan Sanz, President Date 3/20/23

Owner's Name _____ Signature _____ Date _____
Notary to Owner: Timothy Ray Price



Applicant's Name Marissa A. Neufeld Signature _____ Date 3-16-2023

Notary to Applicant: Maria Jose Lopez

MINNESOTA

00-21-23

EXHIBIT "A"

LEGAL DESCRIPTION:

The NW 1/4 of the NW 1/4 of the SE 1/4 of Section 2, Township 55 South, Range 40 East, Less the West 35.00' feet for Right-of-Way, Less the North 35.00' feet, Less the South 25.00' feet, and Less the area bounded by the East line of the West 35.00' feet and the South line of the North 35.00' feet of the NW 1/4 of the NW 1/4 of the SE 1/4 of said Section 2, and bounded by a 25.00' foot radius arc concave to the Southeast, and being tangent to the last two described lines, and Less the area bounded by the East line of the West 35.00' feet and the North line of the South 25.00' feet, of the NW 1/4 of the NW 1/4 of the SE 1/4 of said Section 2, and bounded by a 25.00' foot radius arc concave to the Northeast, and being tangent to the last two described lines.



Dynamic Traffic, LLC
100 NE 5th Avenue, Suite B2
Delray Beach, FL 33483
T. 732.681.0760

Revised: May 8, 2023
January 2, 2023

Village of Pinecrest
12645 Pinecrest Parkway
3rd Floor
Pinecrest, Florida 33156

Attn: Stephen Olmsted, AICP

**Re: Traffic Impact and Parking Assessment
Royal Palm Tennis Club Improvements
Parcel No.: 20-5002-000-0721
7001 SW 98th Street
Village of Pinecrest, Miami-Dade Cty., FL
DT # 4501-22-03379**

Dear Mr. Olmsted:

Dynamic Traffic has prepared the following assessment to determine the traffic impact and adequacy of access, circulation, and parking associated with proposed improvements to the Royal Palm Tennis Club located east of SW 72nd Avenue between SW 96th Street and SW 98th Street in the Village of Pinecrest, Miami-Dade County, FL (see Figure 1).

The Royal Palm Tennis Club has been in operation for many decades and has incrementally improved and modernized to benefit its membership which is currently capped at 290 and will remain at this level. A total of 22 courts are currently operational on the property which is served by 72 parking spaces with access provided via full-movement driveways on SW 98th Street and on SW 72nd Avenue. A pick-up/drop-off "loop" is provided north of the main clubhouse building and parking is provided along the northern and eastern drive aisles.

The improvement proposal includes the construction of new pickleball and padel courts as well as a new practice wall. This will bring the total number of operational "courts" to 27.5. Additionally, parking will be expanded in order to provide 22 additional spaces for a total of 94 parking spaces. An accessory building will be removed and existing outdoor clubhouse patio space will be enclosed which ultimately results in a slight decrease in building square footage on the site. Furthermore, as no change in the existing membership is proposed, it is not anticipated that there will be any change to the traffic impacts as the proposed additional courts are simply an additional amenity for the existing membership base. No changes are proposed to the existing access points.

Existing Conditions

SW 98th Street and SW 72nd Avenue intersect to form a four-leg roundabout intersection. The posted speed limit on SW 72nd Avenue is 35 miles per hour and the posted speed limit on SW 98th Street is 30 miles per hour. Each roadway provides one travel lane in each direction and sidewalk is provided only along the northerly side of SW 72nd Avenue. Both roadways have straight and flat alignments

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allowing for proper sight distance at each of the Royal Palm Tennis Club driveways which, as previously mentioned, will remain in their existing configuration.

Site Generated Traffic

Trip generation projections for The Project were made utilizing trip generation research data as published under Land Use Code (LUC) 491 – Racquet/Tennis Club in the Institute of Transportation Engineers’ (ITE) publication, *Trip Generation, Eleventh Edition*. This publication sets forth trip generation rates based on empirical traffic count data conducted at numerous research sites. The following table shows a comparison of the existing versus proposed trip generation for The Project based on the number of courts for the weekday morning and evening peak street hours (PSH) as well as for a full weekday. Note that AM PSH data was only available from ITE based on building size so the ratio of PM to AM for that independent variable was utilized for the projections based on the number of courts.

**Table I
 Trip Generation Comparison**

Use	AM PSH			PM PSH			Daily		
	In	Out	Total	In	Out	Total	In	Out	Total
Existing 22 Courts	32	31	63	42	42	84	305	305	610
Proposed 27.5 Courts	40	39	79	52	53	105	381	381	762
Net Increase	+8	+8	+16	+10	+11	+21	+76	+76	+152

It should be noted that the number of new trips falls below the industry accepted standard of a significant increase in traffic of 100 trips. Based on *Transportation Impact Analysis for Site Development*, published by the ITE “it is suggested that a transportation impact study be conducted whenever a proposed development will generate 100 or more added (new) trips during the adjacent roadways’ peak hour or the development’s peak hour.” Furthermore, it should be noted that the above reflects a 25% increase in traffic which is commensurate with the increase in the number of courts. Realistically, no increase in traffic generation is anticipated as the membership cap will remain as exists.

Traffic Analysis

Pursuant to the 2023 FDOT Multimodal Quality/Level of Service Handbook, Level of Service “E” equates to 1,728 peak hour trips and an AADT of 19,200 vehicles (see appended calculations). The Village’s Land Development Regulations identify 150% capacity of Level of Service “E” for the subject location which is located within ½ mile of a commuter rail as well as the South Miami-Dade Busway. This equates to a peak hour threshold of 2,592 two-way trips and an AADT threshold of 28,800 vehicles.

Pursuant to the requirements of Division 5.21(d)(3)e. of the Village’s Land Development Regulations, the proposed improvements may be deemed to have a minimal impact and may not be subject to the transportation concurrency requirements based on the following conditions:

- i. *The development proposal is for an increase in density or intensity of less than or equal to twice the density or intensity of the existing development.*

- a. As identified above, the improvements will serve the existing membership which will not increase and therefore, an increase in site generated traffic is not realistically anticipated. However, the increase in courts represents a 25% increase. Either scenario does not account for an increase in twice the density. Therefore, this condition is satisfied.
- ii. *The transportation impact of the proposed development alone does not exceed 0.1 percent of the maximum service volume at the adopted level of service standard for peak hour of the affected roads.*
- a. As identified above, the improvements will serve the existing membership which will not increase and therefore, an increase in site generated traffic is not realistically anticipated. 0.1% of 2,592 = 3 trips and therefore this condition would be satisfied. However, the increase in courts represents a 25% increase or 21 trips. Taking the worst case, this condition would not be satisfied.
- iii. *The cumulative total transportation impact from the minimal impact exception does not exceed three percent of the maximum service volume at the adopted level of service standard of the affected roads if the proposed development does not meet the minimum service level of service standard.*
- a. The AADT threshold of $28,800 \times 3\% = 864$ daily trips. As shown in Table I, which represents the worst case increase, the facility in total would generate 762 daily trips. Therefore, this condition is satisfied.

Site Access, Parking and Circulation

As previously noted, access to the site will be provided via the existing driveways along SW 72nd Avenue and SW 98th Street. The circulation on the site will also remain generally consistent via a drive aisle along the northern and eastern sides of the property.

As previously described, the parking supply will be increased from the existing 72 parking spaces to a proposed 94 parking spaces. This represents a more than 30% increase in parking supply for a 25% increase in the number of courts and no increase in the membership cap. Furthermore, it is noted that the Village Ordinance requires 4 parking spaces per “court”. While the additional courts proposed are not full tennis courts, at the Village’s parking ratio, an additional 22 parking spaces would be required and an additional 22 parking spaces are proposed. The decrease in building square footage on site does not warrant any additional parking be provided. Lastly, reference is made to the ITE publication *Parking Generation, 5th Edition* which, similar to *Trip Generation*, provides average peak parking demands for various land uses. While limited data is published for LUC 491 – Racquet/Tennis Club, it is notable that the average peak demand for two (2) studied locations indicated a parking rate of 10.73 spaces per 100 members. This would equate to a demand of 32 spaces for the existing membership of 290. Therefore, the provision of 94 parking spaces is anticipated to be more than sufficient to serve the improved Royal Palm Tennis Club, particularly when considering that this expansion to a long standing facility in the area is being undertaken to provide alternative options for play for its existing membership base.

Findings

Based upon the detailed analyses as documented herein, the following findings are noted:

- The addition of a practice wall along with pickleball and padel courts as alternatives for members is unlikely to noticeably increase traffic volumes in to and out of the Royal Palm Tennis Club particularly considering that no increase in membership is associated with the improvements. However, based on a comparison of ITE Trip Generation Data, the maximum hourly increase in trip generation calculates to 21 vehicles per hour which is an insignificant increase and would be imperceptible along the adjacent roadway network.
- Access to the site will continue to be provided via the existing driveways along SW 72nd Avenue and SW 98th Street.
- As proposed, The Project's site driveways and internal circulation have been designed to provide for safe and efficient movement of automobiles.
- The increased parking supply from 72 existing spaces to 94 proposed spaces is commensurate with the Village Ordinance requirement of 4 spaces per court. However, the 30% increase in parking supply is proposed to accommodate a 25% increase in the number of courts and no increase in the number of people utilizing the courts. Therefore, the parking supply will continue to be more than sufficient to continue to accommodate the club's needs.

Conclusion

Based upon our Traffic Assessment as detailed in the body of this report, it is the professional opinion of Dynamic Traffic that the adjacent street system of the Village of Pinecrest will not experience any significant degradation in operating conditions with the improvement of the site. The site driveways are located to continue to provide safe and efficient access to the adjacent roadway system. The site plan as proposed provides for good circulation throughout the site and provides adequate parking to accommodate The Project's needs.

If you have any questions on the above, please do not hesitate to contact me.

Sincerely,
Dynamic Traffic, LLC



Craig W. Peregoy, PE
FL PE License #78893

Craig W
Peregoy

Digitally signed
by Craig W
Peregoy
Date: 2023.05.08
10:58:32 -04'00'



Royal Palm Tennis Club
 Traffic Impact Assessment
 4501-22-03379

Figure 1
 Site Location Map

Land Use: 491

Racquet/Tennis Club

Description

A racquet/tennis club is a privately-owned facility that primarily caters to racquet sports (tennis, racquetball, pickle ball, handball, squash) both indoor and outdoor. This land use may also provide ancillary facilities, such as a whirlpool, sauna, spa, weight room, snack bar, or retail store. Some sites offer daycare. Some sites offer competitive team sports. These facilities are membership clubs that may allow access to the general public for a fee. Tennis courts (Land Use 490), health/fitness club (Land Use 492), athletic club (Land Use 493), and recreational community center (Land Use 495) are related uses.

Additional Data

Some of the sites in this land use offered racquet/tennis competitions.

The sites were surveyed in the 1980s and the 1990s in Alberta (CAN) and California.

Source Numbers

440, 970

Racquet/Tennis Club (491)

Vehicle Trip Ends vs: Tennis Courts

On a: **Weekday,**

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 2

Avg. Num. of Tennis Courts: 9

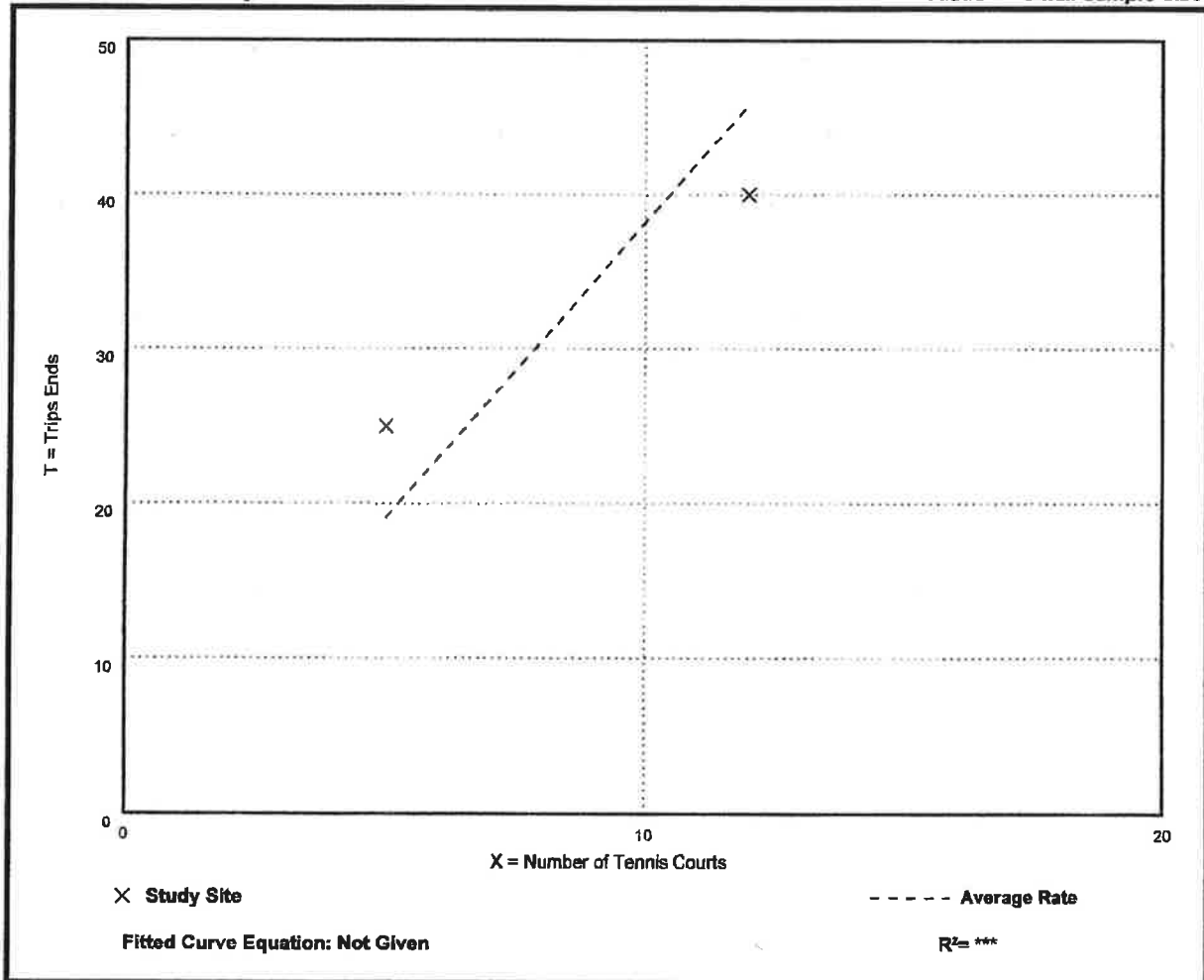
Directional Distribution: Not Available

Vehicle Trip Generation per Tennis Court

Average Rate	Range of Rates	Standard Deviation
$3.82 \times 5.5 = 21$	3.33 - 5.00	***

Data Plot and Equation

Caution – Small Sample Size



Racquet/Tennis Club (491)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

AM Peak Hour of Generator

Setting/Location: General Urban/Suburban

Number of Studies: 1

Avg. 1000 Sq. Ft. GFA: 4

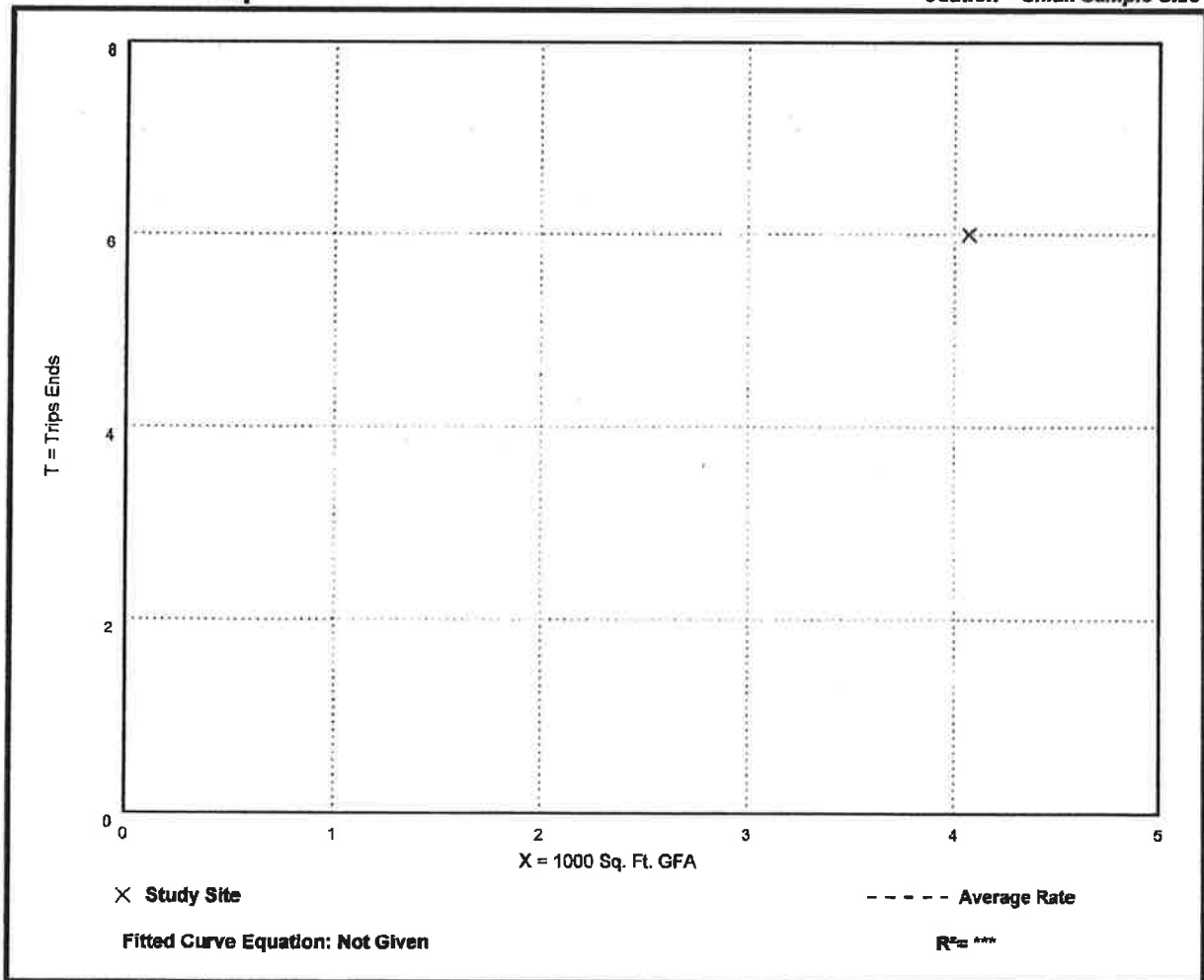
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
1.47 = 75% of PM Therefore = 16	1.47 - 1.47	***

Data Plot and Equation

Caution – Small Sample Size



Racquet/Tennis Club (491)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

PM Peak Hour of Generator

Setting/Location: General Urban/Suburban

Number of Studies: 1

Avg. 1000 Sq. Ft. GFA: 4

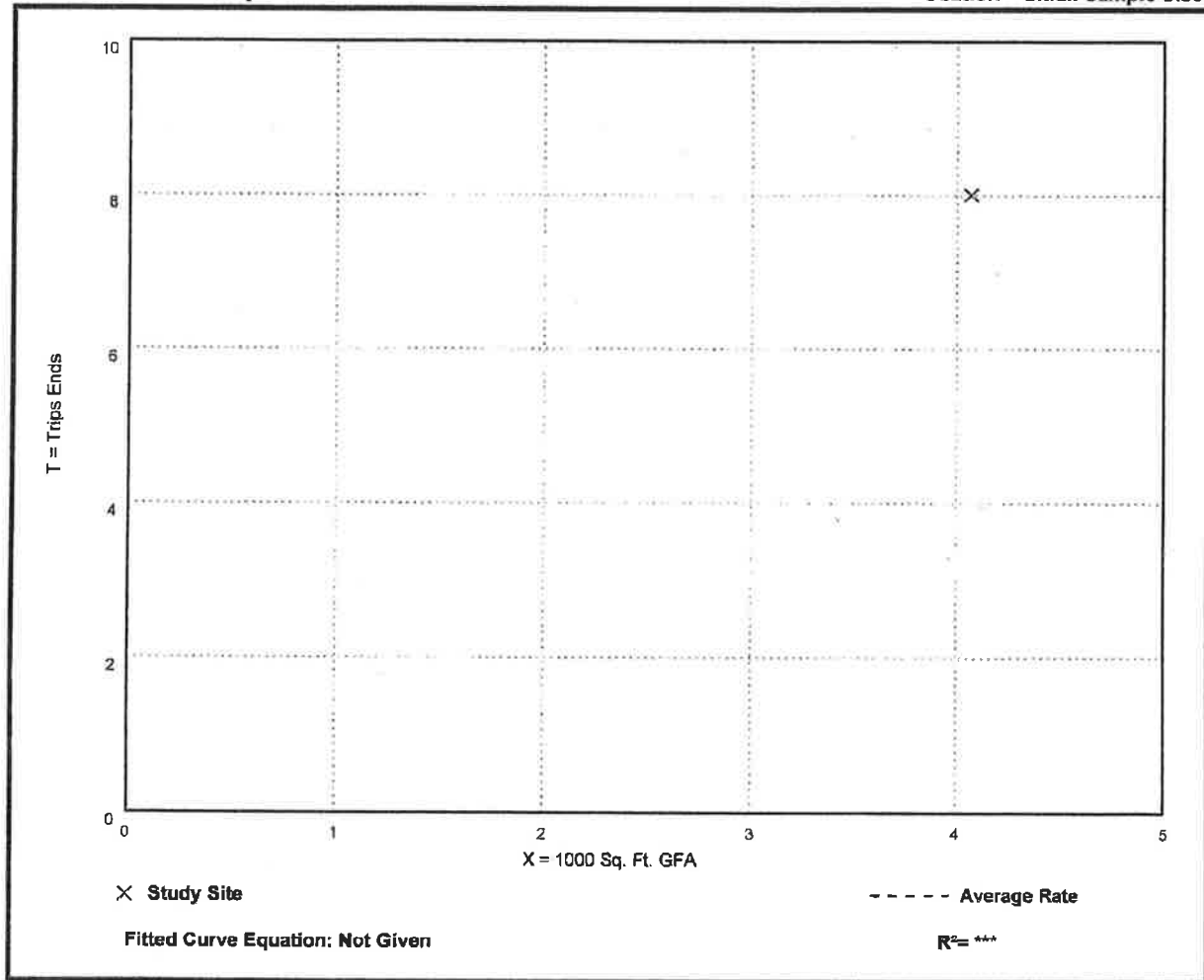
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
1.97	1.97 - 1.97	***

Data Plot and Equation

Caution - Small Sample Size



Land Use: 491 Racquet/Tennis Club

Description

A racquet/tennis club is a privately-owned facility that primarily caters to racquet sports (e.g., tennis, racquetball, handball, squash), both indoor and outdoor. This land use may also provide ancillary facilities, such as a whirlpool, sauna, spa, weight room, snack bar, or retail store. Some sites offer daycare. Some sites offer competitive team sports. These facilities are membership clubs that may allow access to the general public for a fee. Tennis courts (Land Use 490), health/fitness club (Land Use 492), athletic club (Land Use 493), and recreational community center (Land Use 495) are related uses.

Time of Day Distribution for Parking Demand

The following table presents a time-of-day distribution of parking demand for one study site on a Friday, Saturday, and Sunday in a general urban/suburban setting.

Hour Beginning	Percent of Peak Parking Demand		
	Friday	Saturday	Sunday
12:00–4:00 a.m.	–	–	–
5:00 a.m.	–	–	14
6:00 a.m.	–	–	46
7:00 a.m.	–	–	76
8:00 a.m.	–	100	100
9:00 a.m.	–	100	85
10:00 a.m.	59	83	78
11:00 a.m.	64	86	75
12:00 p.m.	70	94	75
1:00 p.m.	86	83	–
2:00 p.m.	94	88	–
3:00 p.m.	100	78	–
4:00 p.m.	100	65	–
5:00 p.m.	89	77	–
6:00 p.m.	65	–	–
7:00 p.m.	41	–	–
8:00 p.m.	–	–	–
9:00 p.m.	–	–	–
10:00 p.m.	–	–	–
11:00 p.m.	–	–	–

Additional Data

The average parking supply ratios for the seven study sites with parking supply information are 1.3 spaces per 1,000 square feet GFA and 4.3 spaces per court.

The sites were surveyed in the 1980s and the 1990s in British Columbia (CAN), New York, and Oregon.

Source Numbers

21, 22, 123, 275, 276

Racquet/Tennis Club (491)

Peak Period Parking Demand vs: Members (100)

On a: Weekday (Monday - Thursday)

Setting/Location: General Urban/Suburban

Peak Period of Parking Demand: 1:00 - 6:00 p.m.

Number of Studies: 2

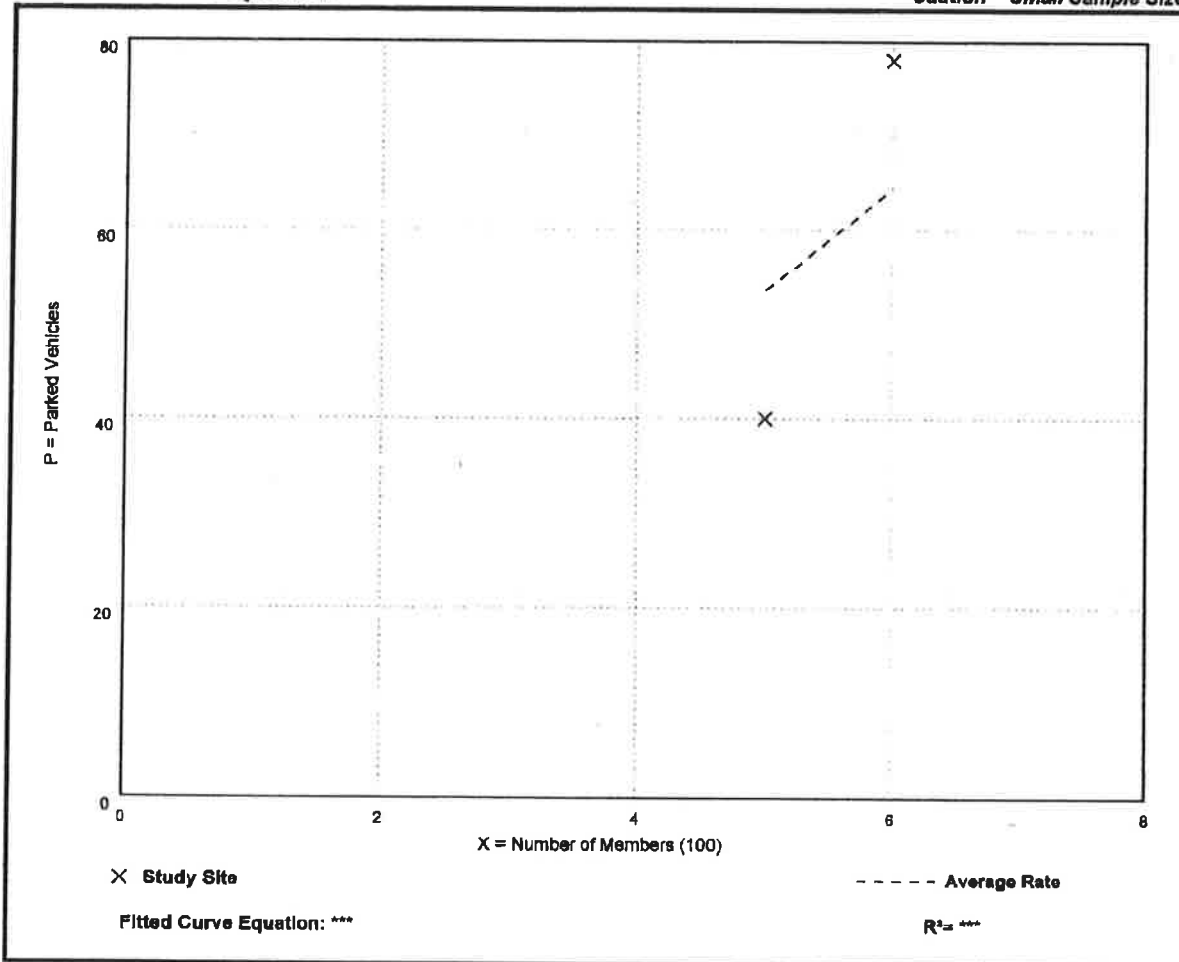
Avg. Num. of Members (100): 5.5

Peak Period Parking Demand per Member (100)

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
10.73 $\times 2.9 = 31.12$	8.00 - 13.00	*** / ***	***	*** (***)

Data Plot and Equation

Caution – Small Sample Size



C2T, C4, C5, & C6

Motor Vehicle Arterial Generalized Service Volume Tables



(C2T-Rural Town)

Peak Hour Directional

	B	C	D	E
1 Lane	*	720	940	**
2 Lane	*	1,140	1,640	**
3 Lane	*	2,120	2,510	**

Peak Hour Two-Way

	B	C	D	E
2 Lane	*	1,310	1,710	**
4 Lane	*	2,070	2,980	**
6 Lane	*	3,850	4,560	**

AADT

	B	C	D	E
2 Lane	*	13,800	18,000	**
4 Lane	*	21,800	31,400	**
6 Lane	*	40,500	48,000	**



(C4-Urban General)

	B	C	D	E
1 Lane	*	*	870	1,190
2 Lane	*	1,210	1,790	2,020
3 Lane	*	2,210	2,810	2,990
4 Lane	*	2,590	3,310	3,510

	B	C	D	E
2 Lane	*	*	1,580	2,160
4 Lane	*	2,200	3,250	3,670
6 Lane	*	4,020	5,110	5,440
8 Lane	*	4,710	6,020	6,380

	B	C	D	E
2 Lane	*	*	17,600	24,000
4 Lane	*	24,400	36,100	40,800
6 Lane	*	44,700	56,800	60,400
8 Lane	*	52,300	66,900	70,900



(C5-Urban Center)

	B	C	D	E
1 Lane	*	*	690	1,080
2 Lane	*	1,290	1,900	2,130
3 Lane	*	1,410	2,670	3,110
4 Lane	*	2,910	3,560	3,640

	B	C	D	E
2 Lane	*	*	1,250	1,960
4 Lane	*	2,350	3,450	3,870
6 Lane	*	2,560	4,850	5,650
8 Lane	*	5,290	6,470	6,620

	B	C	D	E
2 Lane	*	*	13,900	21,800
4 Lane	*	26,100	38,300	43,000
6 Lane	*	28,400	53,900	62,800
8 Lane	*	58,800	71,900	73,600



(C6-Urban Core)

	B	C	D	E
1 Lane	*	***	790	1,030
2 Lane	*	***	1,490	1,920
3 Lane	*	***	2,730	2,940
4 Lane	*	***	3,250	3,490

	B	C	D	E
2 Lane	*	***	1,440	1,870
4 Lane	*	***	2,710	3,490
6 Lane	*	***	4,960	5,350
8 Lane	*	***	5,910	6,350

	B	C	D	E
2 Lane	*	***	16,000	20,800
4 Lane	*	***	30,100	38,800
6 Lane	*	***	55,100	59,400
8 Lane	*	***	65,700	70,600

Adjustment Factors

The peak hour directional service volumes should be adjusted by multiplying by 1.2 for one-way facilities
 The AADT service volumes should be adjusted by multiplying 0.6 for one way facilities
 Roadway with an Exclusive Left Turn Lane(s): Multiply by 1.05
 2 lane Undivided Roadway with No Exclusive Left Turn Lane(s): Multiply by 0.80

Exclusive right turn lane(s): Multiply by 1.05
 Multilane Undivided Roadway with an Exclusive Left Turn Lane(s): Multiply by 0.95
 Multilane Roadway with No Exclusive Left Turn Lane(s): Multiply by 0.75
 Non-State-Signalized Roadway: Multiply by 0.90

This table does not constitute a standard and should be used only for general planning applications. The table should not be used for corridor or intersection design, where more refined techniques exist.

* Cannot be achieved using table input value defaults.

** Not applicable for that level of service letter grade. For the automobile mode, volumes greater than level of service D become F because intersection capacities have been reached.

$$2,160 \times 0.8 = 1,728$$

$$24,000 \times 0.8 = 19,200$$

TABLE 5-11
LOS FOR NON-FLORIDA INTERSTATE HIGHWAY ROADS



Location	Transit Availability	20-Minute Headway Transit Service within 1/2 Mile	Extraordinary Transit Service (Commuter Rail or Express Bus)
	No Transit Service		
Outside urban development boundary	LOS D: State minor arterials LOS C: County roads and state principal arterials	N/A	N/A
Between urban infill area and urban development boundary	LOS D: 90 percent of capacity; or LOS E on state urban minor arterials: 100 capacity	LOS E: 100% capacity	LOS E: 120% capacity
Inside urban infill area	LOS E: 100% capacity	LOS E: 120% capacity	LOS E: 150% capacity

$1,728 \times 1.5 = 2,592$
 $19,200 \times 1.5 = 28,800$

Note: Urban infill area is located east of Northwest and Southwest 77 Avenue and SR 826 excluding the area north of SR 826 and west of I-95

ROYAL PALM TENNIS CLUB

7001 SW 98TH ST.
PINECREST, FL, 33156

MINOR SITE PLAN MODIFICATION & CONDITIONAL USE APPLICATION PHASE I & II - RV1 05.08.2023



SHEET #	DESCRIPTION
A-0.0	ARCHITECTURAL CHANGES
A-0.1	COVER SHEET
A-0.2	UTILITY
A-0.3	EXISTING SITE PLAN
A-0.4	PROPOSED SITE PLAN
A-0.5	PROPOSED CLUMPHOUSE COURTS - PHASE I
A-0.6	PROPOSED CLUMPHOUSE COURTS - PHASE II
A-0.7	EXISTING MANICURE COURT CHANGE - PHASE I
A-0.8	EXISTING MANICURE COURT CHANGE - PHASE II
A-0.9	EXISTING MANICURE & HAIRWAX
A-1.0	PROPOSED MANICURE & HAIRWAX
A-1.1	PROPOSED MANICURE & HAIRWAX
A-1.2	PROPOSED MANICURE & HAIRWAX
A-1.3	COURT LIGHTING
A-1.4	COURT LIGHTING
A-1.5	COURT LIGHTING
A-1.6	COURT LIGHTING
A-1.7	COURT LIGHTING
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A-1.99	COURT LIGHTING
A-2.00	COURT LIGHTING

STAFF
Digitally
Signed By
Todd B. Tragas
Date: 2023.06.09
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004.007



STA ARCHITECTURAL GROUP
3528 NORTH MIAMI AVE. MIAMI, FL 33129
305.571.1151

PROJECT NO. 4203

REVISED FOR VALUE OF PROJECT

5/19/2023 11:54:40 AM

7000 SW 8TH ST.
PACIFIC FL, 33109

REV. NO. / DATE

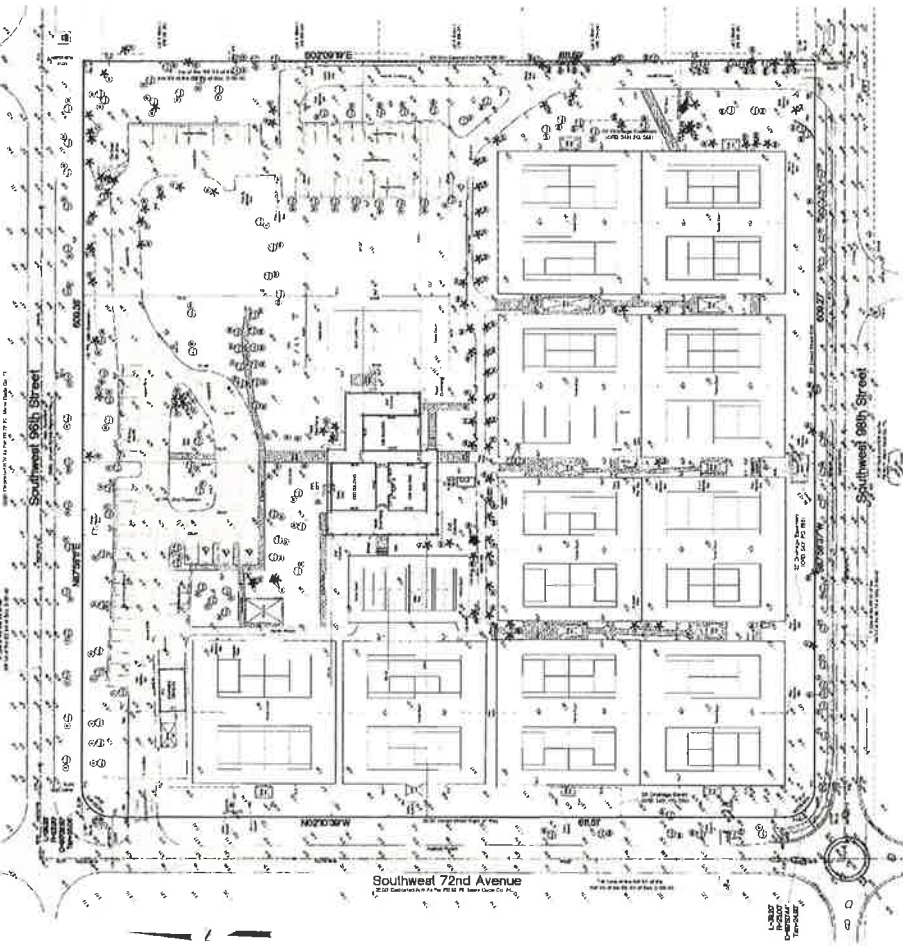
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Todd B. Tragas
Date: 2023.06.09 09:47:55
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DRAWN BY	
CHECKED BY	
DATE	03.17.2023
PROJECT NO.	4233
PHASE	SCHEMATIC DESIGN
SURVEY	
A-1.0	



Boundary Survey



Abbreviations of Legend

LEGEND
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. ALL DIMENSIONS ARE TO CENTER OF CURVE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO CENTER OF CURVE UNLESS OTHERWISE NOTED.
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 10. ALL DIMENSIONS ARE TO CENTER OF CURVE UNLESS OTHERWISE NOTED.

PROPERTY ADDRESS
 7000 SW 8TH ST
 PACIFIC, FL 33109

CERTIFIED ONLY TO:
 Royal Palm Tennis Club, Inc.

ELEVATION INFORMATION
 1. ALL ELEVATIONS ARE TO MEAN SEA LEVEL UNLESS OTHERWISE NOTED.
 2. ALL ELEVATIONS ARE TO MEAN SEA LEVEL UNLESS OTHERWISE NOTED.
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DATE	03.17.2023
SCALE	AS SHOWN



NO.	DESCRIPTION	DATE
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DATE	03.17.2023
SCALE	AS SHOWN

PROPERTY SURVEY
 SCALE: N.T.S.

ROYAL PALM
TENNIS CLUB

REV. NO. / DATE
REVISION 1
05/02/2023

REV. NO. / DATE

REV. NO.	DATE
1	05/02/2023

Digitally signed by
Todd B. Tragas
Date: 2023.06.09
15:05:00
+0100

TODD TRAGAS, P.E.
FLORIDA REGISTRATION NUMBER: 11192

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Drawn by
Checked by
Date
Project No.
Phase
Schematic Design

Proposed Site Plan

A-1.2



STA ARCHITECTURAL GROUP
1000 GOLF COURSE AVENUE, SUITE 100
WEST PALM BEACH, FLORIDA 33411

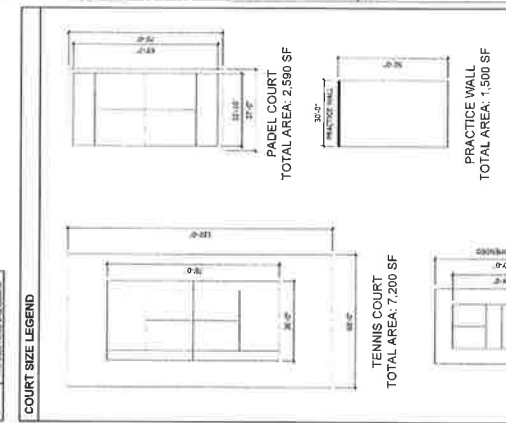


B SITE MAP
SCALE: 1/8" = 1'-0"

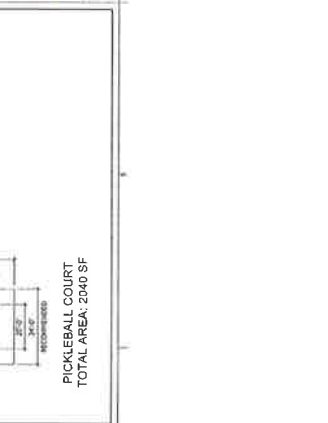
LETTER	NAME	DESCRIPTION
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B	EXISTING ASPHALT DRIVEWAY	EXISTING ASPHALT DRIVEWAY
C	EXISTING ASPHALT DRIVEWAY	EXISTING ASPHALT DRIVEWAY
D	EXISTING ASPHALT DRIVEWAY	EXISTING ASPHALT DRIVEWAY
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Z	EXISTING ASPHALT DRIVEWAY	EXISTING ASPHALT DRIVEWAY

LETTER	NAME	DESCRIPTION
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C	EXISTING ASPHALT DRIVEWAY	EXISTING ASPHALT DRIVEWAY
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Q	EXISTING ASPHALT DRIVEWAY	EXISTING ASPHALT DRIVEWAY
R	EXISTING ASPHALT DRIVEWAY	EXISTING ASPHALT DRIVEWAY
S	EXISTING ASPHALT DRIVEWAY	EXISTING ASPHALT DRIVEWAY
T	EXISTING ASPHALT DRIVEWAY	EXISTING ASPHALT DRIVEWAY
U	EXISTING ASPHALT DRIVEWAY	EXISTING ASPHALT DRIVEWAY
V	EXISTING ASPHALT DRIVEWAY	EXISTING ASPHALT DRIVEWAY
W	EXISTING ASPHALT DRIVEWAY	EXISTING ASPHALT DRIVEWAY
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Y	EXISTING ASPHALT DRIVEWAY	EXISTING ASPHALT DRIVEWAY
Z	EXISTING ASPHALT DRIVEWAY	EXISTING ASPHALT DRIVEWAY

COURT SIZE LEGEND



PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"



PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

5/10/2023 11:41 AM
PROJECT NUMBER: 20230501
PROJECT NAME: ROYAL PALM TENNIS CLUB
SHEET TITLE: SCHEMATIC DESIGN SHEET A-1.2 PROPOSED SITE PLAN

ROYAL PALM
TENNIS CLUB

1000 BOY BURNA CT.
PALM BEACH, FL 33418

REV. NO. / DATE
REVISION 1 05.06.2023

STAMP
Todd
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Todd B. Prognan
B. Prognan
2023.06.09
09:47:55
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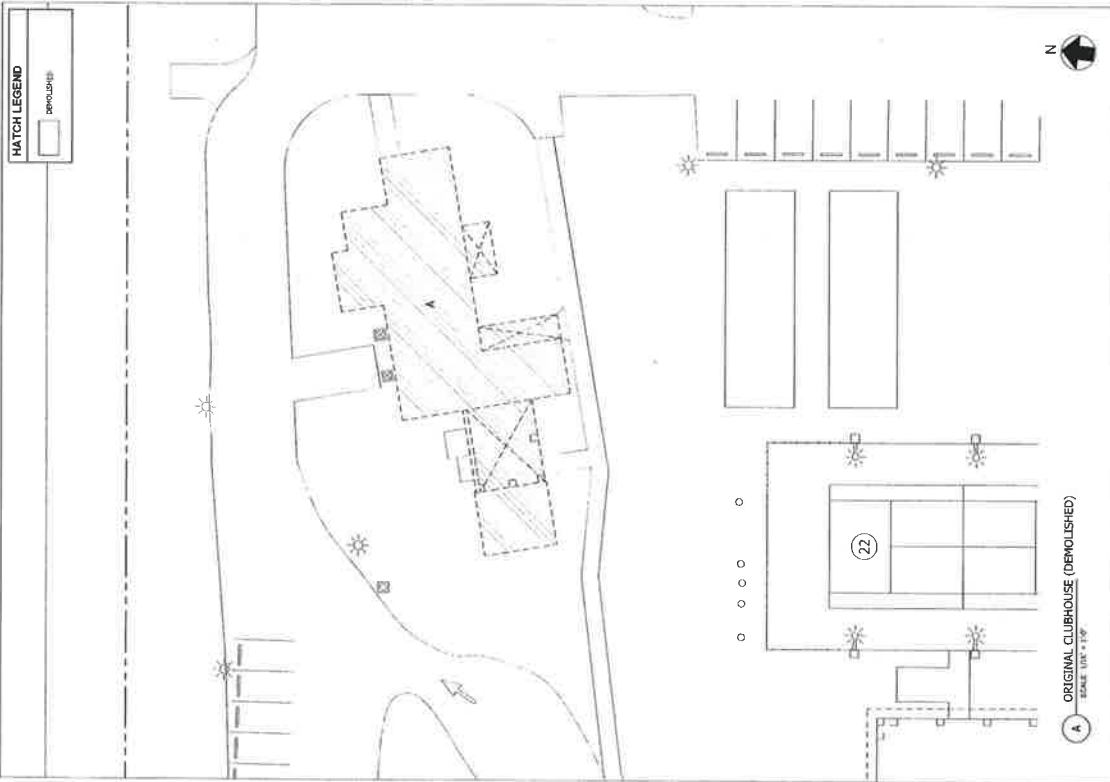
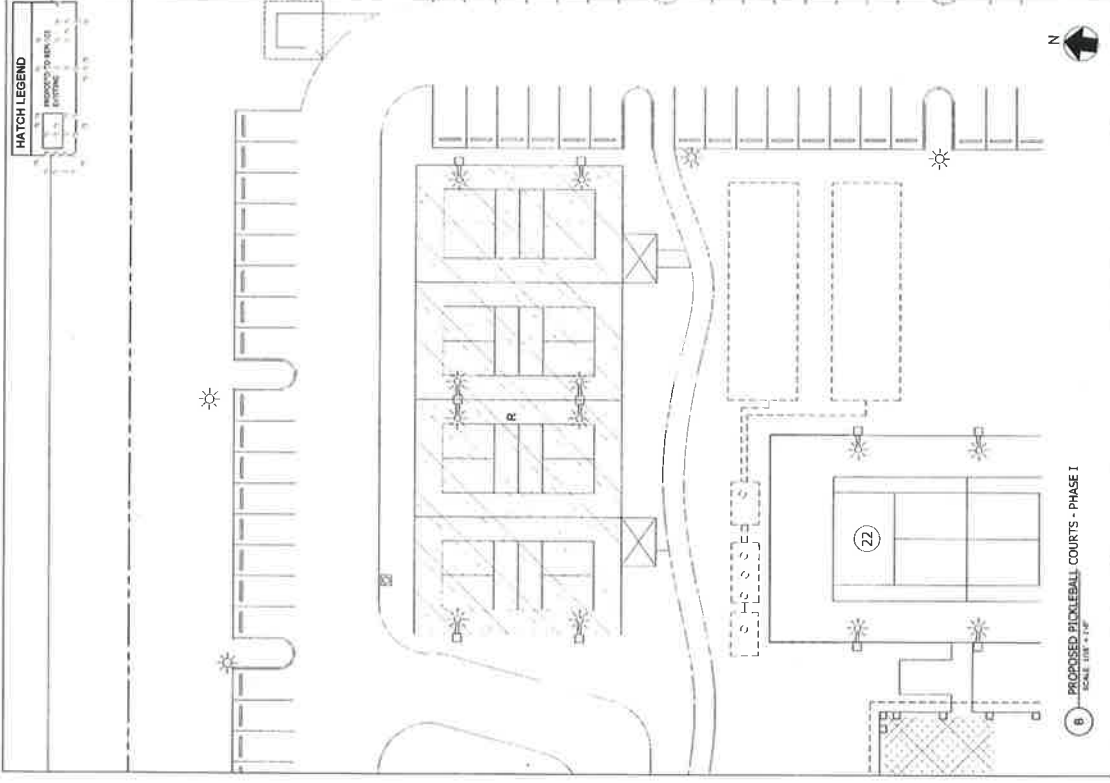
TODD PROGNAN, A.L.A.
ARCHITECTURAL NUMBER: 1183

CONSULTANT TO C.A. SIGNATURE REQUIRED.
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DRAWN BY PHJL
CHECKED BY HABG
DATE 03.17.2023
PROJECT NO. 4203
PHASE SCHEMATIC DESIGN
ORIGINAL CLUBHOUSE CHANGE
A-1.3



STA ARCHITECTURAL GROUP
262 NORTH MAIN AVE. SUITE 43, SUITE 43
PALM BEACH, FL 33481
PH: 561.832.1121



REV.	NO.	DATE
A/	1	05.08.2023

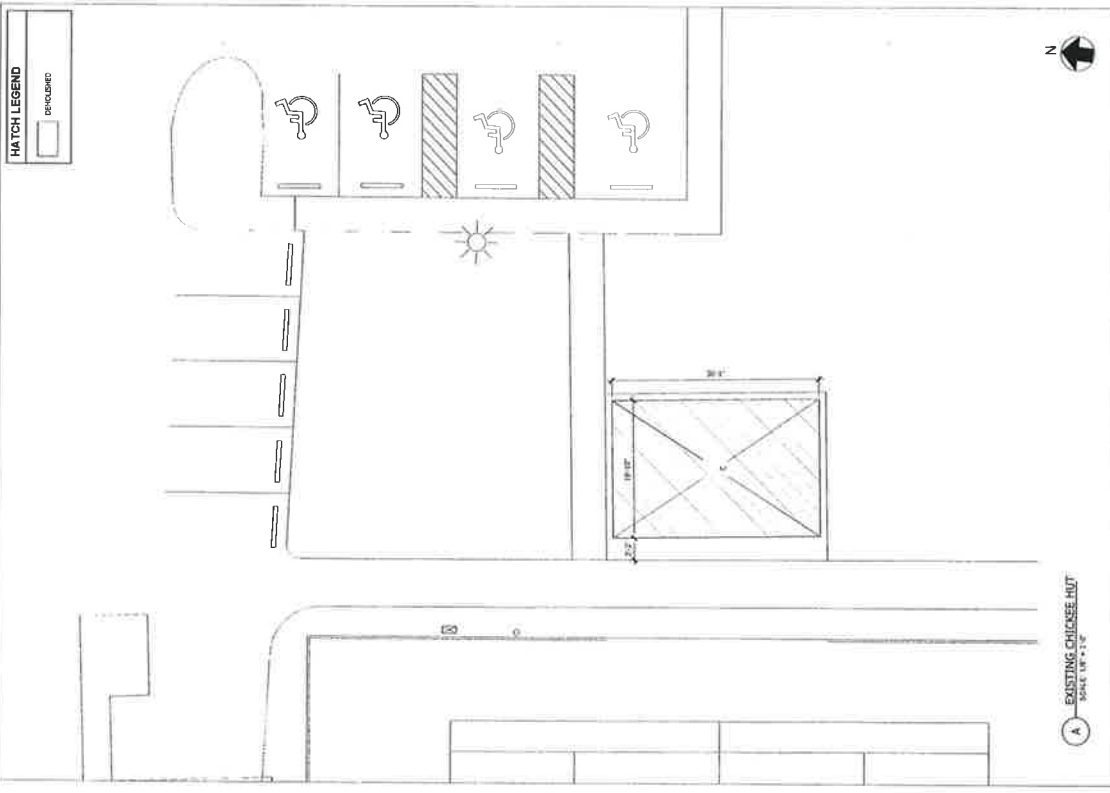
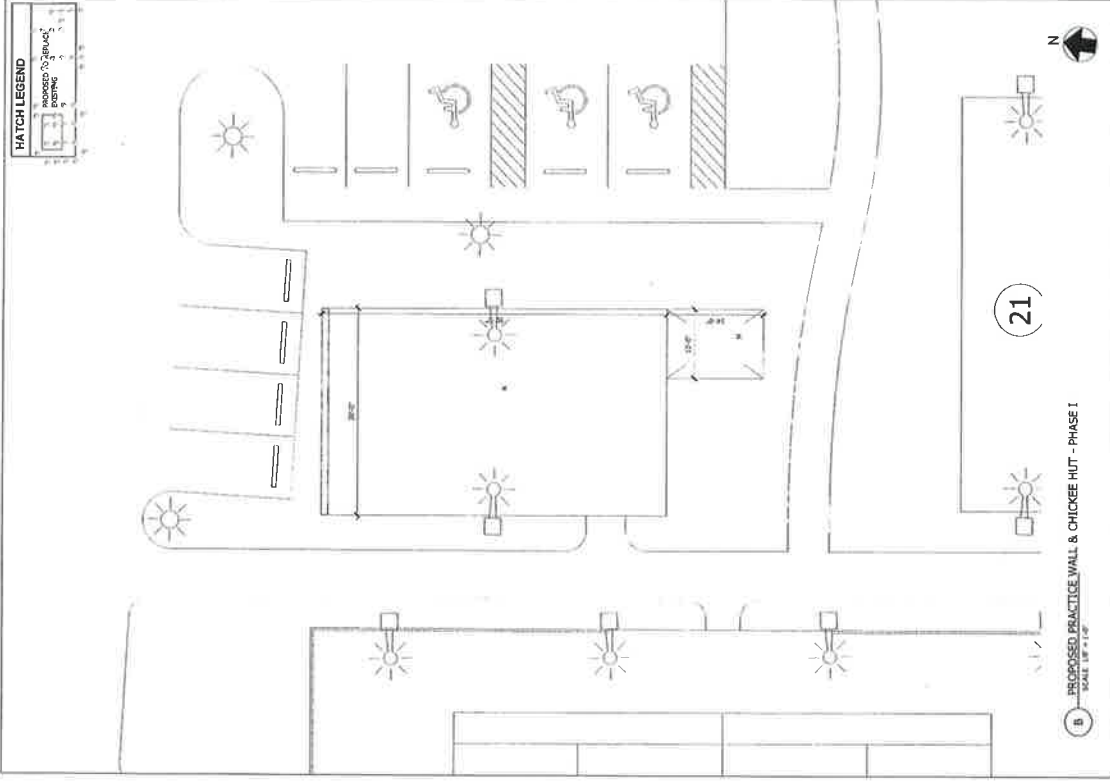
STEP
Todd
 Digitally signed by
 Todd B. Tragas
 DN: cn=Tragas, o=2023.06.09, ou=05-47-55, email=ttragas@royalpalmtennisclub.com, c=US

TODD B. TRAGAS, AIA, LEED AP
 11400 WOODBRIDGE AVENUE, SUITE 1100
 BOCA RATON, FL 33433
 TEL: 561-993-1100
 FAX: 561-993-1101
 WWW: TODDTRAGAS.COM

DESIGNED BY	TODD B. TRAGAS
CHECKED BY	TODD B. TRAGAS
DATE	03.17.2023
PROJECT NO.	4203
PHASE	SCHEMATIC DESIGN

EXISTING CHICKEE HUT CHANGE

A-1.4

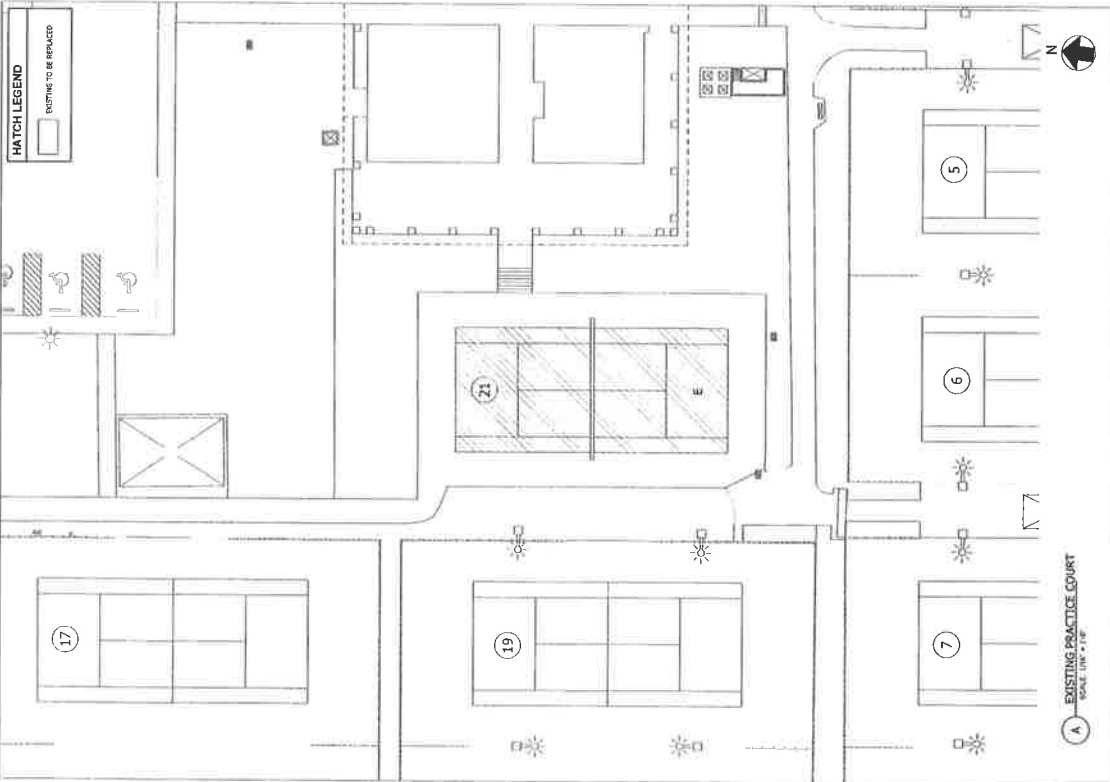
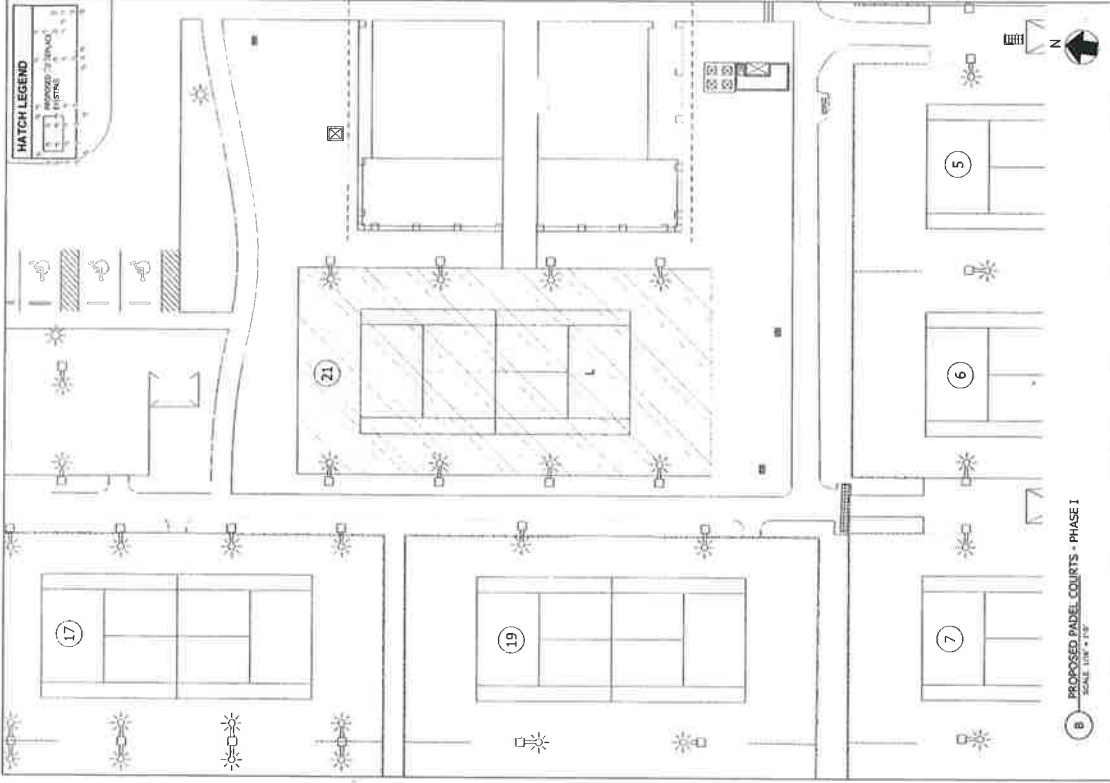


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signed by
Todd B.
Tragash
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TODD TRAGASH, L.L.C.
REGISTERED PROFESSIONAL ARCHITECT
NO. 12000
STATE OF FLORIDA
TODD TRAGASH ARCHITECTS, L.L.C.
REGISTERED PROFESSIONAL ARCHITECTS
NO. 12000
STATE OF FLORIDA
TODD TRAGASH ARCHITECTS, L.L.C.
REGISTERED PROFESSIONAL ARCHITECTS
NO. 12000
STATE OF FLORIDA
TODD TRAGASH ARCHITECTS, L.L.C.
REGISTERED PROFESSIONAL ARCHITECTS
NO. 12000
STATE OF FLORIDA



STA ARCHITECTURAL GROUP
3025 NORTH MIAMI AVE. SUITE 6, 33122
MIAMI, FL 33137
TEL: 305.571.1811



ROYAL PALM
TENNIS CLUB

REV. NO. / DATE
REVISION 1
05.06.2023

Designed by
Todd B. Tragas
Date: 03.17.2023
PROJECT NO. 4203

Drawn by
MBA
Checked by
MBA
Date: 03.17.2023
PROJECT NO. 4203

PHASE
SCHEMATIC
DESIGN

EXISTING PARKING
& PAVEMENT



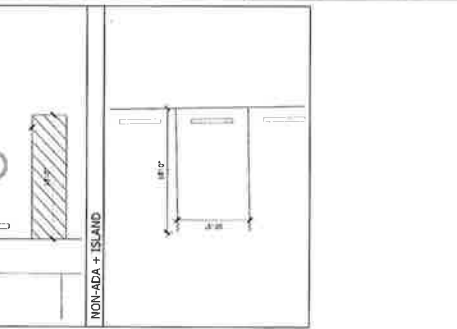
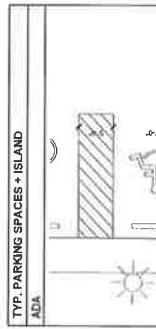
STA ARCHITECTURAL GROUP
205 W. PALM BLVD. SUITE 100
WEST PALM BEACH, FL 33411

PARKING & GREEN SPACE SUMMARY

TYPE	EXISTING	PROPOSED	TOTAL
TYPICAL PARKING SPACES	11	11	22
ADDITIONAL PARKING SPACES	0	0	0
TOTAL	11	11	22
OFF-STREET PARKING	11	11	22
ADDITIONAL OFF-STREET PARKING	0	0	0
TOTAL	11	11	22

HATCH LEGEND

LETTER	DESCRIPTION
A	ASPHALT DRIVE
B	ASPHALT DRIVE
C	ASPHALT DRIVE
D	ASPHALT DRIVE
E	ASPHALT DRIVE
F	ASPHALT DRIVE
G	ASPHALT DRIVE
H	ASPHALT DRIVE
I	ASPHALT DRIVE
J	ASPHALT DRIVE
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R	ASPHALT DRIVE
S	ASPHALT DRIVE
T	ASPHALT DRIVE
U	ASPHALT DRIVE
V	ASPHALT DRIVE
W	ASPHALT DRIVE
X	ASPHALT DRIVE
Y	ASPHALT DRIVE
Z	ASPHALT DRIVE



EXISTING PARKING & PAVEMENT PLAN
SCALE: 1/8" = 1'-0"

1. EXISTING PARKING SPACES AND PAVEMENT ARE SHOWN FOR REFERENCE ONLY. ALL DIMENSIONS AND LOCATIONS ARE TO BE VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

ROYAL PALM
TENNIS CLUB

REV. NO. / DATE	REVISION 1 / 05.08.2023

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Todd B. Tragas
Date: 2023.05.09 09:47:55
+04'00'

1000 PACIFIC AVE.
ROYAL PALM BEACH, FL 33411

DESIGNED BY	DATE
CHECKED BY	05.17.2023
PROJECT NO.	4203

PHASE
SCHEMATIC DESIGN

PROPOSED
PARKING &
PAVEMENT



STA ARCHITECTURAL GROUP
200 N. W. 10th Street, Suite 100
Fort Lauderdale, FL 33304

PARKING & GREEN SPACE SUMMARY

TYPE	EXISTING	PROPOSED
TOTAL SPACES	27	71
ADDITIONAL SPACES	0	44
ADDITIONAL GREEN SPACE	0	1,200
TOTAL GREEN SPACE	0	1,200
TOTAL PAVEMENT	0	1,200

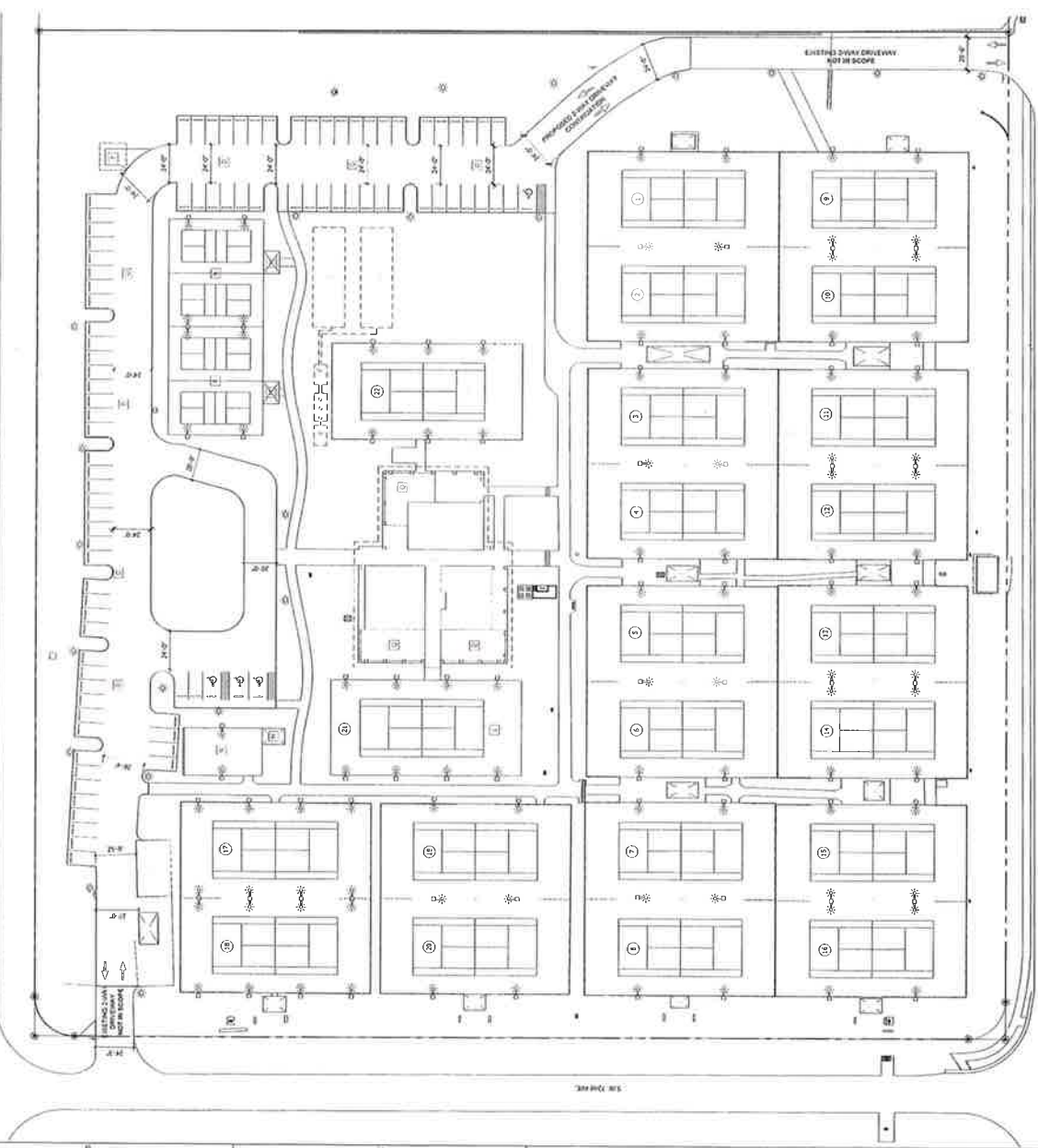
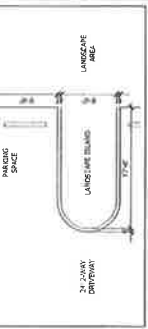
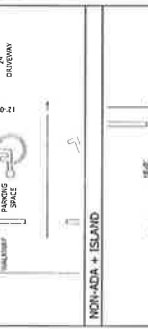
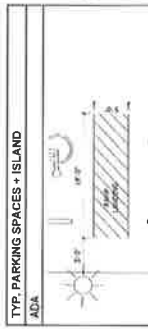
NOTE: ALL SPACES SHALL BE ACCORDING TO THE LATEST IBC AND LOCAL ORDINANCES. ALL SPACES SHALL BE ACCORDING TO THE LATEST IBC AND LOCAL ORDINANCES. ALL SPACES SHALL BE ACCORDING TO THE LATEST IBC AND LOCAL ORDINANCES.

HATCH LEGEND

[Symbol]	LANDSCAPED AREA
[Symbol]	PAVEMENT

LABEL LEGEND

[Symbol]	LANDSCAPED AREA
[Symbol]	PAVEMENT



PROPOSED PARKING & PAVEMENT PLAN
SCALE: 1/8" = 1'-0"



ROYAL PALM
TENNIS CLUB

300 SW 84TH ST,
PINEHURST, FL 33156

REV. NO. / DATE
REVISION 1
05.08.2023

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Signed by
Todd B.
Tragas
2023.06.09
09:47:55
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2023.06.09 11:52
REGISTERED NUMBER 411023

PROFESSIONAL SEAL AND SIGNATURE OF ARCHITECT
I, STAFF ARCHITECT, HEREBY CERTIFY THAT I AM A LICENSED ARCHITECT IN THE STATE OF FLORIDA AND THAT I AM THE ARCHITECT OF RECORD FOR THIS PROJECT. I HAVE REVIEWED THE DRAWINGS AND AM SURE THAT THEY ACCURATELY REPRESENT THE WORK TO BE DONE AND THAT THEY COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS. I HAVE ALSO REVIEWED THE CONTRACT DOCUMENTS AND AM SURE THAT THEY ACCURATELY REPRESENT THE AGREEMENT BETWEEN THE CLIENT AND ME. I HAVE ALSO REVIEWED THE PERMITS AND AM SURE THAT THEY ACCURATELY REPRESENT THE WORK TO BE DONE AND THAT THEY COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS. I HAVE ALSO REVIEWED THE PERMITS AND AM SURE THAT THEY ACCURATELY REPRESENT THE WORK TO BE DONE AND THAT THEY COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

DESIGN BY
CHECKED BY
DATE
PROJECT NO.
PHASE
SCHEMATIC
DESIGN
OVERLAY
A-1.9



STA ARCHITECTURAL GROUP
3205 NORTH MIAMI AVE. SUITE 100
MIAMI, FL 33137
305.571.1511

PARKING & GREEN SPACE SUMMARY

LOT NO.	NO. SPACES	REMARKS
1	22	TENNIS COURTS EXISTING TO REMAIN ADDITIONAL 10 SPACES
2	10	EXISTING TO REMAIN ADDITIONAL 10 SPACES
3	10	EXISTING TO REMAIN ADDITIONAL 10 SPACES
4	10	EXISTING TO REMAIN ADDITIONAL 10 SPACES
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100	10	EXISTING TO REMAIN ADDITIONAL 10 SPACES

MATCH LEGEND

LETTER	NAME
A	PAVED AREA TO BE LANDSCAPED
B	LANDSCAPE AREA TO BE MAINTAINED
C	PAVED AREA TO REMAIN AS IS
D	LANDSCAPE AREA TO REMAIN AS IS

LABEL LEGEND

LETTER	NAME
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2	EXISTING DRIVEWAY
3	EXISTING DRIVEWAY
4	EXISTING DRIVEWAY
5	EXISTING DRIVEWAY
6	EXISTING DRIVEWAY
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99	EXISTING DRIVEWAY
100	EXISTING DRIVEWAY

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EXISTING & PROPOSED SITE PLAN OVERLAY
SCALE: 1/8" = 1'-0"
A



5 W. 72ND AVE.
S.W. 80TH STREET

EXISTING & PROPOSED SITE PLAN OVERLAY
SCALE: 1/8" = 1'-0"
A

5 W. 72ND AVE.
S.W. 80TH STREET

REV. NO. / DATE	REVISION 1 05/02/2023

Digitally
Signed by
Todd B.
Tragash
Date: 2023.06.09
10:25:05
0A:00

Todd B. Tragash, AIA, LEED AP
Florida Registration Number: 11193

Drawn by	trash
Checked by	trash
Date	03.17.2023
Project No.	4233

PHASE
SCHEMATIC
DESIGN

A-1.11



STA ARCHITECTURAL GROUP
150 SOUTH WALKER AVE, SUITE 101
BOCA RATON, FL 33433

CALCULATION SUMMARY (1)

Label	Calc Type	Units	Value	Unit	Value	Unit	Value
Calc Point 1	ILLUMINANCE	fc	19.7	fc	1.01	ft-cd	1.41
Calc Point 2	ILLUMINANCE	fc	15.8	fc	0.79	ft-cd	1.11
Footcandle	ILLUMINANCE	fc	15.8	fc	0.79	ft-cd	1.11
Footcandle	ILLUMINANCE	fc	15.8	fc	0.79	ft-cd	1.11

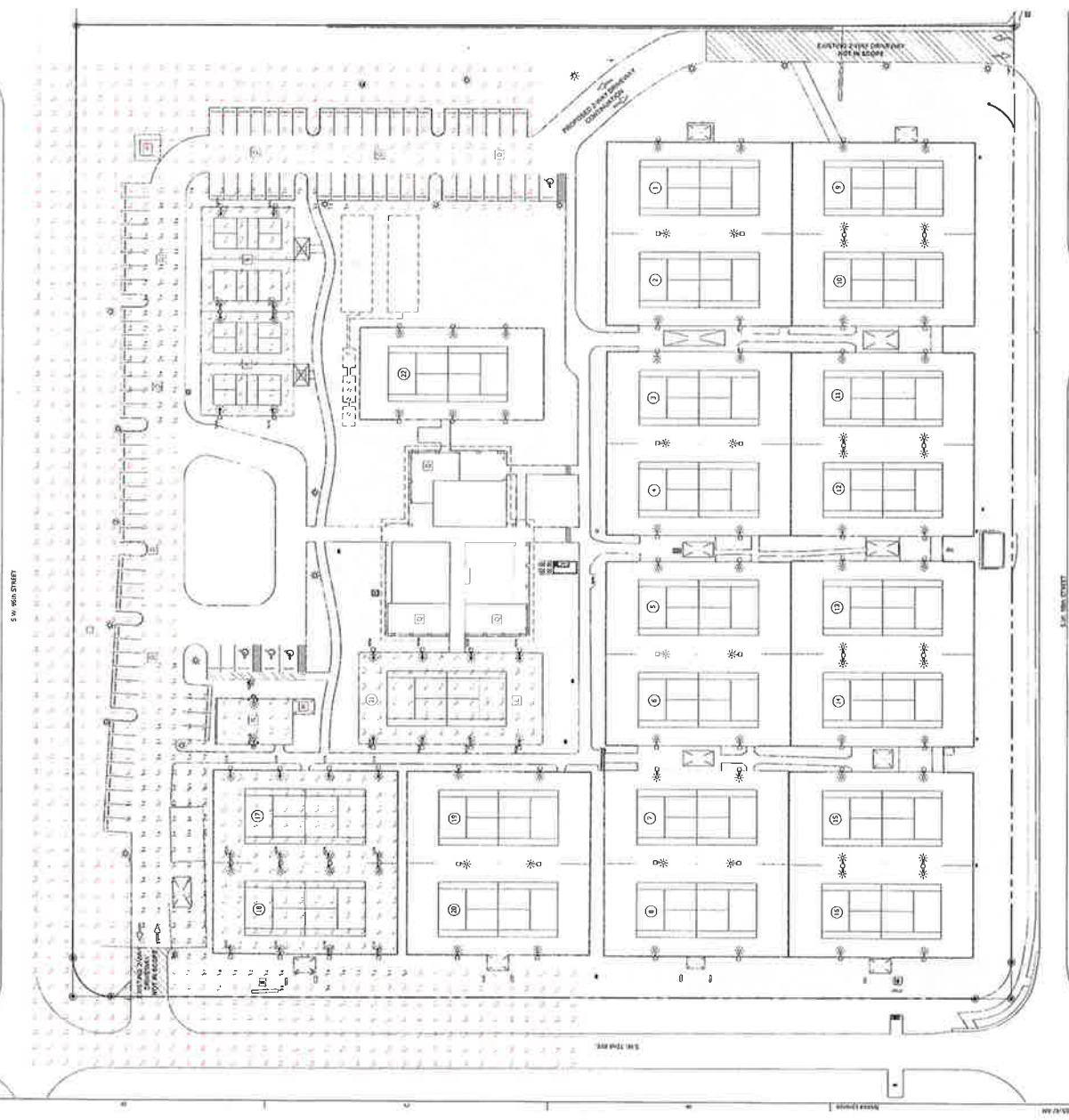
LUMINAIRE SCHEDULE

Symbol	Qty	Label	Arrangement	LF	Spec/Notes	Unit Wght
⊖	20	REX	GRID	1.00	100-100-100-100-100-100	800
⊖	1	BACK	BACK	1.00	100-100-100-100-100-100	100
⊖	2	REX	2-8 IN. SPACED	1.00	100-100-100-100-100-100	100

Additional lighting required for this area on external count to be in accordance with the values of product code of luminaires, chapter 31, div. 41.

LABEL LEGEND

Label	Symbol	Description
1	⊖	REX
2	⊖	BACK
3	⊖	REX
4	⊖	REX
5	⊖	REX
6	⊖	REX
7	⊖	REX
8	⊖	REX
9	⊖	REX
10	⊖	REX
11	⊖	REX
12	⊖	REX
13	⊖	REX
14	⊖	REX
15	⊖	REX
16	⊖	REX
17	⊖	REX
18	⊖	REX
19	⊖	REX
20	⊖	REX



PHOTOMETRICS
SCALE: 1/8" = 1'-0"

REV. NO. / DATE
REVISION 1 05/08/2023

Digitally signed by Todd B. Tragas Date: 2023.05.08 09:02:55 -0400

STAG ARCHITECTURAL GROUP
701 KINGSHILL PLACE, CARSON, CA 90746
TEL: (310) 530-3337
WWW.STAGARCHITECTURAL.COM

DRAWN BY	TRAGAS
CHECKED BY	TRAGAS
DATE	05.17.2023
PROJECT NO.	4203
PHASE	SCHEMATIC DESIGN

COURT LIGHTING

A-1.13



STA ARCHITECTURAL GROUP
701 KINGSHILL PLACE, CARSON, CA 90746
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PRODUCT OPTIONS

OPTIONAL



HOUSE SIDE SHIELD (HSS)

FRONT SIDE SHIELD (FSS)

MOUNTING OPTIONS



Knuckle Mount

Tennis Arm

Trunkion Mount

Direct Pole Mount

2X6 DRILL PATTERN (USED 3x4x6)

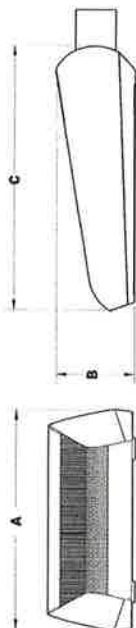


nislighting.com

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PRODUCT SPECIFICATIONS



DIMENSION	VUE-3	VUE-3
A	26.17 in	Weight: 55 lbs.
B	8.26 in	
C	32.94 in	

OPTIONAL	HSS	FSS	Knuckle Mount	Tennis Arm	Trunkion Mount	Direct Pole Mount
SIDE	D90	D180	T90			
VUE-3	1.66	3.36	5.02	4.38	0.00	5.02
DPSE	0.18	0.37	0.98	0.94	0.00	5.02
DPSE	0.49	0.98	2.47	2.43	0.00	5.02
Total EPA (ft ²)	1.84 / 2.15	3.85	8.68 / 4.29	5.99	0.00	5.02

DPX ARM LENGTH

SOL	096	0180	T90	T120	00
VUE-3	8.1/8	18	8.7/16	18	18

PART NUMBER	T4		T4-HSS		T4-FSS		Lm/W	B.U.G.	T4-FSS OPTIC	WATT
	Lm/W	5 J.U.G.	OPTIC	B.U.G.	OPTIC	B.U.G.				
VUE-3-40-007	45,000	115	B4-U0-03	44053	111	B3-U0-03	44043	111	B4-U0-03	397
VUE-3-45-000	45,000	115	B4-U0-03	44053	111	B3-U0-03	44043	111	B4-U0-03	397
VUE-3-46-007	33,850	115	B4-U0-04	51449	111	B3-U0-04	51438	111	B4-U0-03	464
VUE-3-50-007	33,850	115	B4-U0-04	51449	111	B3-U0-04	51438	111	B4-U0-03	464
VUE-3-55-007	40,330	115	B4-U0-04	57850	111	B3-U0-04	57839	111	B4-U0-03	522
VUE-3-58-007	45,700	115	B4-U0-04	64311	111	B3-U0-04	64297	111	B4-U0-04	500
VUE-3-58-007	45,700	115	B4-U0-04	64311	111	B3-U0-04	64297	111	B4-U0-04	500
VUE-3-60-007	70,235	115	B4-U0-04	67527	111	B3-U0-04	67512	111	B4-U0-04	609
VUE-3-65-007	70,035	115	B4-U0-04	67527	111	B3-U0-04	67512	111	B4-U0-04	609

Ambient Temperature	Lumen Maintenance Data			
	1% Hours*	5% Hours*	90% Hours*	95% Hours*
25°C	38,000h	88,000h	173,000h	93,176h
100%rh	43,000h	113,000h	204,000h	97,976h
				103,000h

*Required maintenance per IESNA E90-02
*Typical maintenance per IESNA E90-02

nislighting.com

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Call Us Today (310) 530-3337



VUE-2 TENNIS
TENNIS + SPORTS LIGHTING



The VUE Tennis is a collaboration of form, optics and thermal management. These combined high-quality features reduce energy costs, utilize the least amount of poles and fixtures per project while meeting IES minimum foot candle levels and extend maintenance cycles at a competitive price.

With specific optical systems designed for parking lots, roadways, Auto Dealerships, Tennis Courts and Sports Field Lighting, the VUE Star Power optical system, the flexibility and power of optics enable the VUE to gain a distinct advantage over its competitors for almost any application. The VUE Star Power optical system is a multi-step process that goes through a linear diffusion process to stretch the virtual image of the diode—both magnifying it and creating a large range of angular flux both horizontally and vertically. This added range increases the width of the light pattern at a greater distance compared to optical systems which rely on refraction principles being passed. Star Power optics are also the most reliable, other than LED, lighting technology available today. As a result, our VUE will while exceed long term to the elements.

Product Features

- The VUE Tennis is the Best Value Outdoor Lighting Solution
- Has an End of Life modular efficient chip upgrade solution.
- Has a beautiful, sleek and stealth shape made out of extruded aluminum.
- Can be mounted directly on to a Wall, Pole, Tennis Arm, or 24in Arm
- 20 Degree maximum tilt available.
- Light Distribution is Type Tennis Optic (TT).
- The VUE Tennis conforms to the standard Made in the USA standards.
- Designed, tested, fabricated and assembled in the USA.

STAR POWER™ OPTICAL SYSTEM

The Star Power™ reflector is an excellent system which provides great value and performance.



LED WATTAGE CHART

Case	Light Dist. (FT)	# of LEDs	Milliwatts	Kelvin	Volts	Mounting	Color	Type	Options
VUE-2	100	96	120,277 (60L)	4000K	(UNV)	Direct Pole 6 Arm (DPS6A) or Direct Pole 12 Arm (DPS12A)	Black, Silver, White	TT, TW, TP, TR	Star Power™ reflector (SPR), NEMA 2-1/2in Receptacle (R2), Receptacle (R3), Receptacle (R4), Receptacle (R5), Receptacle (R6), Receptacle (R7), Receptacle (R8), Receptacle (R9), Receptacle (R10), Receptacle (R11), Receptacle (R12), Receptacle (R13), Receptacle (R14), Receptacle (R15), Receptacle (R16), Receptacle (R17), Receptacle (R18), Receptacle (R19), Receptacle (R20), Receptacle (R21), Receptacle (R22), Receptacle (R23), Receptacle (R24), Receptacle (R25), Receptacle (R26), Receptacle (R27), Receptacle (R28), Receptacle (R29), Receptacle (R30), Receptacle (R31), Receptacle (R32), Receptacle (R33), Receptacle (R34), Receptacle (R35), Receptacle (R36), Receptacle (R37), Receptacle (R38), Receptacle (R39), Receptacle (R40), Receptacle (R41), Receptacle (R42), Receptacle (R43), Receptacle (R44), Receptacle (R45), Receptacle (R46), Receptacle (R47), Receptacle (R48), Receptacle (R49), Receptacle (R50), Receptacle (R51), Receptacle (R52), Receptacle (R53), Receptacle (R54), Receptacle (R55), Receptacle (R56), Receptacle (R57), Receptacle (R58), Receptacle (R59), Receptacle (R60), Receptacle (R61), Receptacle (R62), Receptacle (R63), Receptacle (R64), Receptacle (R65), Receptacle (R66), Receptacle (R67), Receptacle (R68), Receptacle (R69), Receptacle (R70), Receptacle (R71), Receptacle (R72), Receptacle (R73), Receptacle (R74), Receptacle (R75), Receptacle (R76), Receptacle (R77), Receptacle (R78), Receptacle (R79), Receptacle (R80), Receptacle (R81), Receptacle (R82), Receptacle (R83), Receptacle (R84), Receptacle (R85), Receptacle (R86), Receptacle (R87), Receptacle (R88), Receptacle (R89), Receptacle (R90), Receptacle (R91), Receptacle (R92), Receptacle (R93), Receptacle (R94), Receptacle (R95), Receptacle (R96), Receptacle (R97), Receptacle (R98), Receptacle (R99), Receptacle (R100)

Notes:

- Consult Factory for Pole Specifications for 60in Receptacle
- Standard height is 30ft. Consult Factory for 40ft Receptacle
- Standard height is 30ft. Consult Factory for 50ft Receptacle
- Standard height is 30ft. Consult Factory for 60ft Receptacle
- Standard height is 30ft. Consult Factory for 70ft Receptacle
- Standard height is 30ft. Consult Factory for 80ft Receptacle
- Standard height is 30ft. Consult Factory for 90ft Receptacle
- Standard height is 30ft. Consult Factory for 100ft Receptacle
- Standard height is 30ft. Consult Factory for 110ft Receptacle
- Standard height is 30ft. Consult Factory for 120ft Receptacle
- Standard height is 30ft. Consult Factory for 130ft Receptacle
- Standard height is 30ft. Consult Factory for 140ft Receptacle
- Standard height is 30ft. Consult Factory for 150ft Receptacle
- Standard height is 30ft. Consult Factory for 160ft Receptacle
- Standard height is 30ft. Consult Factory for 170ft Receptacle
- Standard height is 30ft. Consult Factory for 180ft Receptacle
- Standard height is 30ft. Consult Factory for 190ft Receptacle
- Standard height is 30ft. Consult Factory for 200ft Receptacle

ELECTRICAL

- 120-277 Volts (UNV) or 247-480 Volts (HV)
- 0-10V dimming driver
- Drive power factor at maximum loads is 95. THD maximum load is 15%
- LED Drivers Ambient Temp. Min is -40C and Ambient Temp. Max ranges from 35C to 55 C and in some cases even higher. Consult factory for recommendations by providing the fixture catalog during before quoting or specifying it.
- All internal wiring UL certified for 600 VAC and 105°C
- All drivers, controls, and sensors housed in enclosed IP-65 compartment
- CR1 70, 80 or 90
- Color temperatures 2700, 3000K, 3500K, 4000K, 5000K
- Surge Protection: 20KA supplied as standard

OPTIONS

- BARB SPARKS (BSB)**—filters reflective and harmful elements for large bird and insect damage. The BSB is a long-term solution to nuisance and infestations and protect your property.
- MAINE CRABE FINISH (MCF)**—A multi-step process creating protective finish coat against harsh environments.
 - Chemically washed in a 5 stage cleaning system.
 - Pie-baked
 - Powder coated 3.5 mils of Zinc Rich Super Durable Polyester Primer.
 - 1-2 feet inside pole coverage top and bottom.
 - Oven Baked
 - Finished Powder Coating of Super Durable Polyester Powder Coat 3.5 mil thickness
- SHIELDS (SSS)**—Four-sided High-Side Shield (HSS) is designed for full property line cut-off. Front-Side Shield (FSS) is a single-sided shield allowing partial cut-off on either side or front of luminaire.

CONTROLS

- FSP-211 (FSP-X)**—Passive Infrared (PIR) sensor providing multi level control based on motion/light contribution.
 - All control parameters adjustable via wireless configuration remote storage and transmitting sensor profiles
 - FSP-20 mounting heights 21-40 feet.
 - Includes 5 dimming event cycles 0-10V dimming with motion sensing, reprogrammable in the field
 - FSP-100 commissioning remote is required to change sensor settings. Please contact factory for ordering.
- NEMA 7-PIN RECEPTACLE (PE7)**—An ANSI C136-41-2013 receptacle and luminaire dimming receptacle available two or four dimming contacts supports 0-10 VDC dimming methods or Digital Addressable Lighting Interface (DALI), providing in-field power interconnect.

OPTICS

- Recessed Star Power Optical System is 95% reflective material. Utilizes a linear diffused pattern, softening the light distribution and eliminating any dark shadows or hotspots. Low iron glass lens comes standard.
- IES Types

TYPE T (TT)

The information and specifications on this document are subject to change without any notification. All values are design, nominal, typical or guaranteed values unless measured under internal and external laboratory conditions.

NLS LIGHTING

701 Kinghill Place, Carson, CA 90746
Call us today (916) 341-2837

nslighting.com

ROYAL PALM TENNIS CLUB
1000 W. PALM BLVD., SUITE 100
PALM BEACH, FL 33480

REV.	NO.	DATE
1	001	05/20/2023

DESIGNED BY
Todd B. Tragas
DATE: 03/23/2023
PROJECT NO: 4209

DATE: 03/23/2023
PROJECT NO: 4209

DESIGNER	CHECKER	DATE	PROJECT NO.
meah	meah	03.23.2023	4209

PHASE
SCHEMATIC DESIGN

COURT LIGHTING

A-1.14



STA ARCHITECTURAL GROUP
1000 W. PALM BLVD., SUITE 100
PALM BEACH, FL 33480

ROYAL PALM
TENNIS CLUB

11000 W. PALM BEACH
PINEHURST, FL 33488

REV. NO. / DATE
REVISION 1 DISCLOSED

TEAM
Todd
 Digitally signed by
 Todd B. Tragas
 Date: 2023.06.09
 09:47:25
 -0400

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CHECKED BY TODD
DATE 03.17.2023
PROJECT NO. 42/33

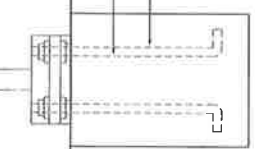
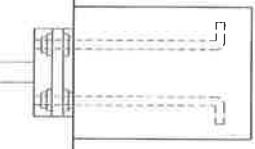
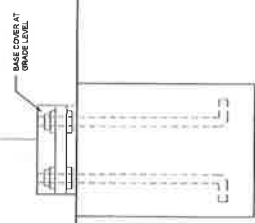
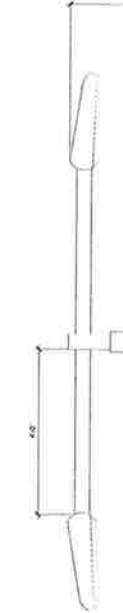
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**SCHEMATIC
 DESIGN**

COURT LIGHTING
 ELEVATIONS

A-1.15



STA ARCHITECTURAL GROUP
 11000 W. PALM BEACH
 PINEHURST, FL 33488



1 PROPOSED SINGLE LIGHT POLE ELEVATION
 SCALE: 3/4" = 1'-0"

2 PROPOSED BACK-BACK LIGHT POLE ELEVATION
 SCALE: 3/4" = 1'-0"

3 PROPOSED DUAL LIGHT POLE AT 90°
 ELEVATION
 SCALE: 3/4" = 1'-0"

ROYAL PALM
TENNIS CLUB

1000 W. WINDY CT.
MANASSAS, VA 20108

REV. NO. / DATE

1 / 05.08.2023

GROUP
Todd
Digitally signed by
Todd B. Tragas
DN: cn=Todd B. Tragas,
o=STA Architectural Group,
ou=Architecture, email=ttragas@stargroup.com,
c=US

DESIGNED BY
CHECKED BY
DATE
PROJECT NO.
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SCHEMATIC
DESIGN
IMAGES

DATE
PROJECT NO.
PHASE
SCHEMATIC
DESIGN
IMAGES

DATE
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PHASE
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DESIGN
IMAGES

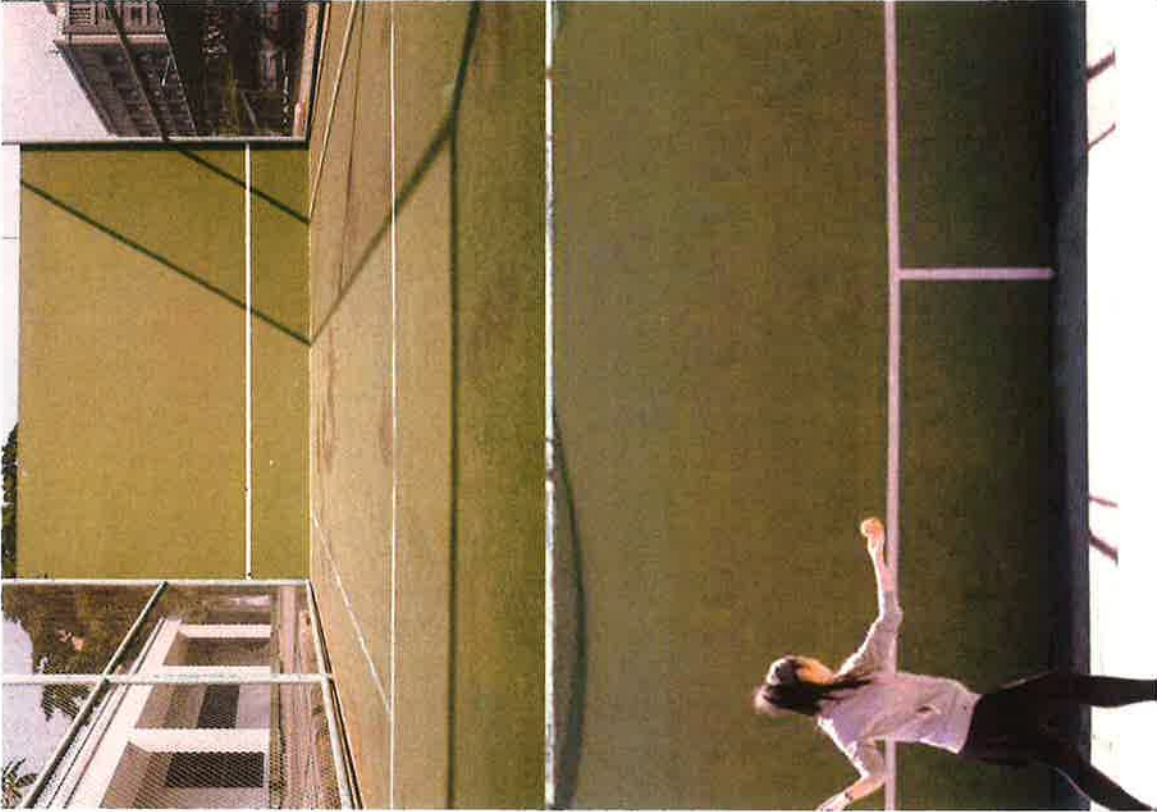
A-2.0



STA ARCHITECTURAL GROUP
3525 NORTH WINDY AVE., SUITE 101, ST. LOUIS, MO 63111
TEL: 314.351.1811 FAX: 314.351.1812



B PICKLEBALL COURTS
SCALE: N/A



A PRACTICE WALL
SCALE: N/A

REV.	NO.	DATE

DESIGNED BY
Todd
TODD B.
TRAGAS
2013.06.09
09:47:55
04:00

DATE
03.17.2013

PROJECT NO.
4203

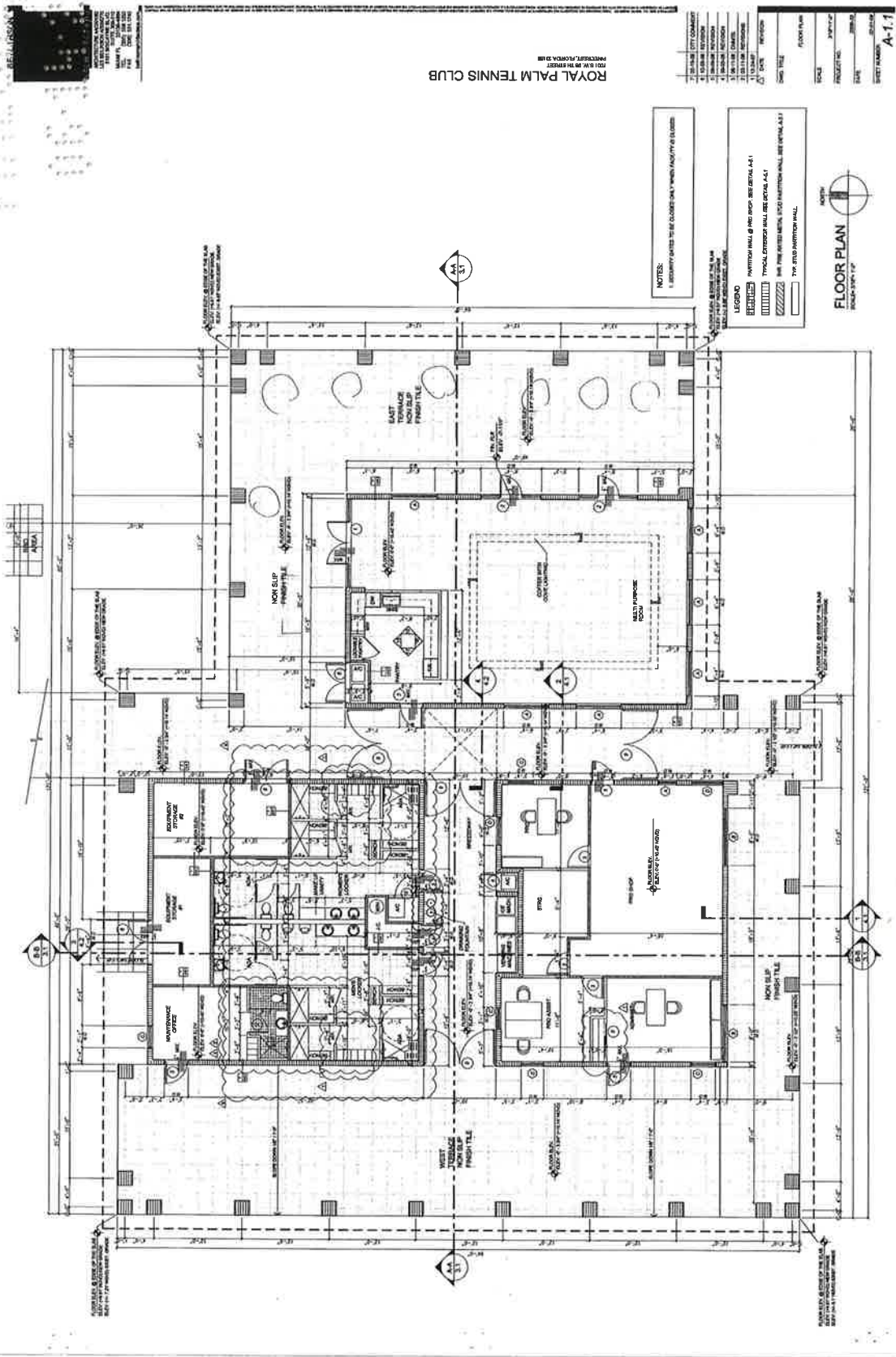
PHASE
SCHEMATIC
DESIGN

CLUBHOUSE -
FLOOR PLAN

AA-1.1



STA ARCHITECTURAL GROUP
2800 NORTH MIAMI AVENUE, SUITE 111, MIAMI, FL 33137
PH: 305.751.1111



ROYAL PALM TENNIS CLUB
PROJECT, FLORIDA, USA

1. GENERAL CITY COMMENTS	
2. EXISTING CONDITIONS	
3. PROPOSED CONDITIONS	
4. FINISHES	
5. NOTES	
6. DIMENSIONS	
7. SYMBOLS	
8. SCHEDULES	
9. REFERENCES	
10. REVISIONS	
11. DRAWING TITLE	
12. DRAWING NO.	
13. SHEET NO.	
14. TOTAL SHEETS	
15. DATE	
16. PROJECT NO.	
17. CLIENT	
18. ARCHITECT	
19. SCALE	
20. SHEET NAME	
21. SHEET NO.	
22. TOTAL SHEETS	

NOTES:
1. EXISTING CONDITIONS TO BE MAINTAINED UNLESS OTHERWISE NOTED.

LEGEND:
HATCHED PATTERNS: INTERIOR WALLS OF THIS ROOM ARE FINISH TILE AS SHOWN IN PLAN.
HATCHED PATTERNS: TYPICAL EXTERIOR WALLS ARE FINISH TILE AS SHOWN IN PLAN.
HATCHED PATTERNS: FINISH TILE MATERIAL SHALL BE FINISH TILE AS SHOWN IN PLAN.
HATCHED PATTERNS: TOP STUCCO FINISH WALL.



ROYAL PALM
TENNIS CLUB

PROJECT NO. 23-28

REV. NO. / DATE

Digitally
signed by
Todd B.
Tragath
Date
05.17.2023
09:27:55
-0400

TODD TRAGATH, S.A.
AUSTIN REGISTRATION NUMBER 11173

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CHECKED BY
DATE
PROJECT NO.

PHASE
SCHEMATIC
DESIGN

CLUBHOUSE -
ROOF PLAN

AA-1.2



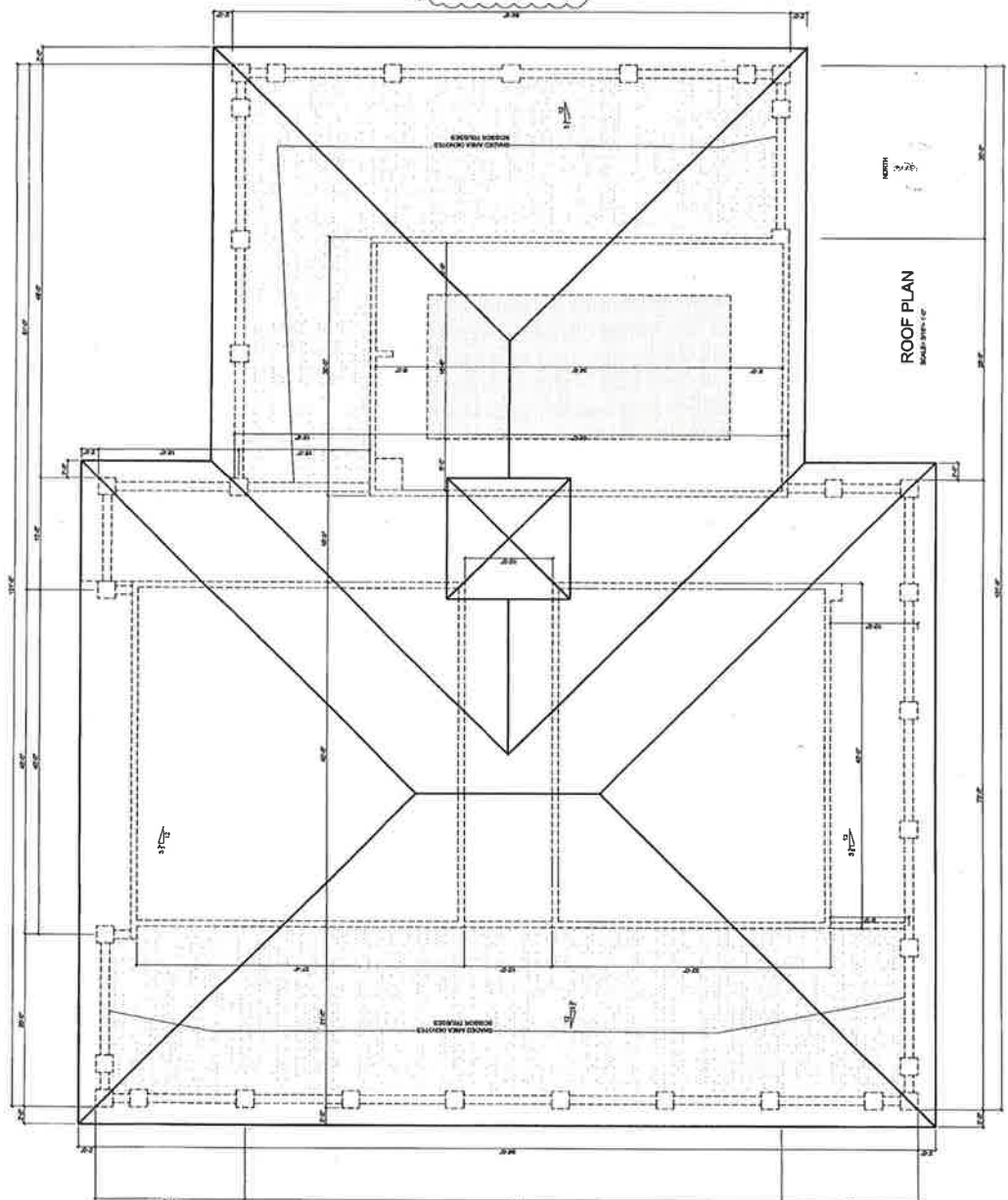
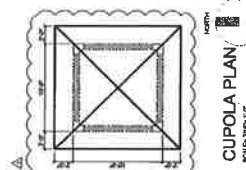
STA ARCHITECTURAL GROUP
2025 NORTH LAKE AVENUE, SUITE 100
MELBOURNE, FL 32935



ROYAL PALM TENNIS CLUB
CLUBHOUSE - ROOF PLAN
DATE: 05.17.2023
TIME: 09:27:55
PROJECT NO: 23-28

ROYAL PALM TENNIS CLUB
ROOF PLAN
DATE: 05.17.2023
TIME: 09:27:55
PROJECT NO: 23-28

ITEM NO.	DATE	REVISION



ROYAL PALM
TENNIS CLUB

REV. NO. / DATE

Drawn By
Checked By
Date
Project No.
Phase
Schematic Design

ROYAL PALM TENNIS CLUB
1001 B.W. 9th STREET
MANCHESTER, FLORIDA 33544

Drawn By
Checked By
Date
Project No.
Phase
Schematic Design

Clubhouse -
Elevations

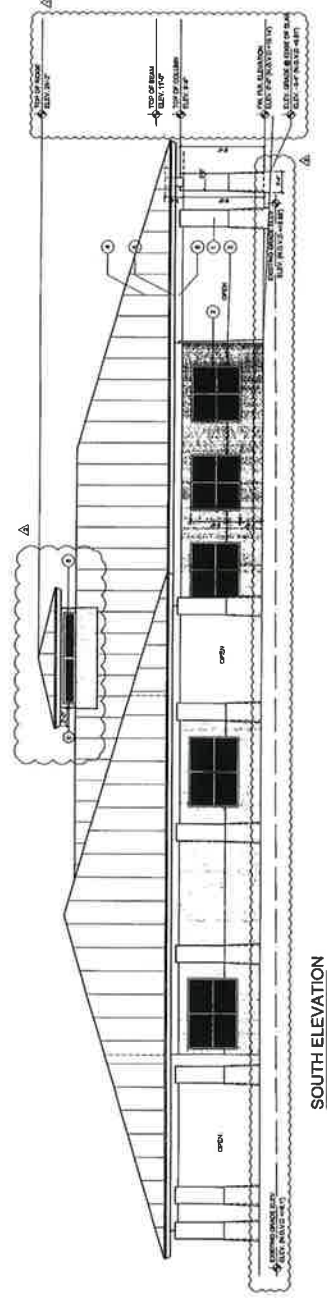
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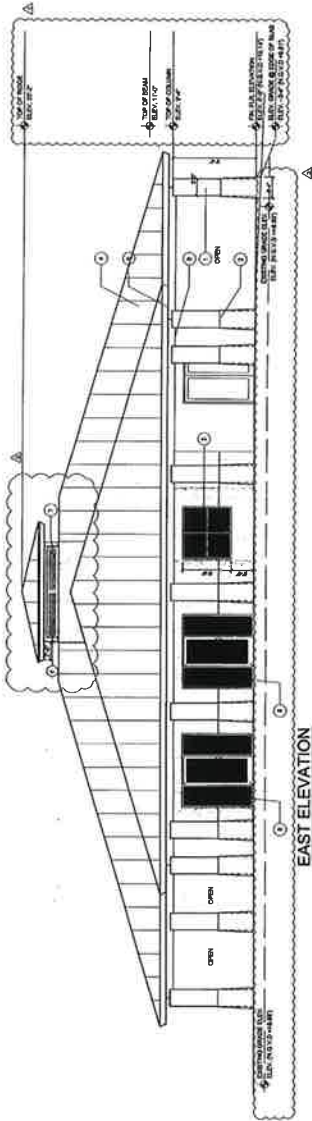
STA ARCHITECTURAL GROUP
355 NORTH MAIN AVE. SUITE 1100
TALLAHASSEE, FL 32302
TEL: 904.224.1111



ROYAL PALM TENNIS CLUB
1001 B.W. 9th STREET
MANCHESTER, FLORIDA 33544



SOUTH ELEVATION



EAST ELEVATION

- LEGEND:
1. BY APPROVAL STAINED ON EXISTING B.C.
 2. UNLESS NOTED OTHERWISE, ALL MATERIALS TO BE USED AS SHOWN.
 3. UNLESS NOTED OTHERWISE, ALL MATERIALS TO BE USED AS SHOWN.
 4. UNLESS NOTED OTHERWISE, ALL MATERIALS TO BE USED AS SHOWN.
 5. UNLESS NOTED OTHERWISE, ALL MATERIALS TO BE USED AS SHOWN.
 6. UNLESS NOTED OTHERWISE, ALL MATERIALS TO BE USED AS SHOWN.

NO.	DATE	DESCRIPTION

A-2.2

REV.	NO.	DATE

Stamp
 Digitally signed by
 Todd B. Tragas
 2023.06.09 09:47:55
 h

TODD TRAGAS, P.A.
 ARCHITECTURAL FIRM
 1151
 THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF TODD TRAGAS, P.A. AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THESE DRAWINGS OR SPECIFICATIONS IS TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF TODD TRAGAS, P.A. CONTRACTOR'S RESPONSIBILITY: CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF SITE PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR NOTIFYING ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCIES WITH USUR.

DRAWN BY	ETB
CHECKED BY	ETB
DATE	03.17.2023
PROJECT NO.	4203

PHASE
 SCHEMATIC
 DESIGN
 CLUBHOUSE -
 ELEVATIONS

AA-2.2

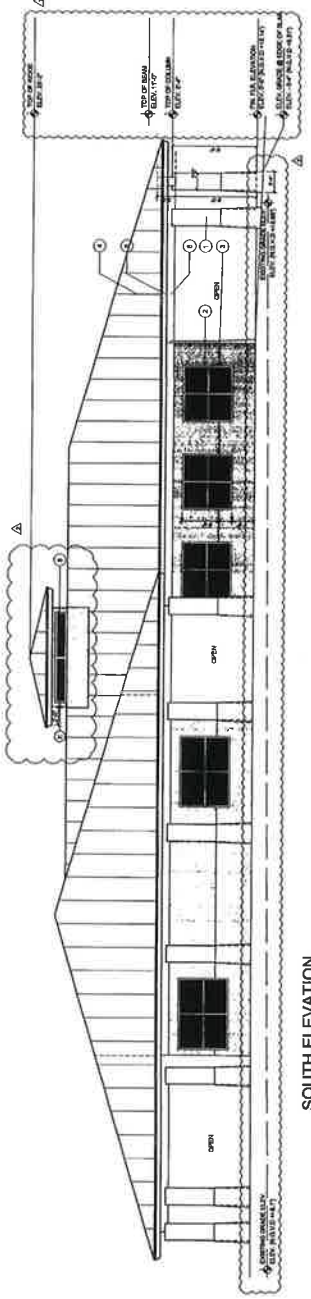


STA ARCHITECTURAL GROUP
 324 NORTH MIAMI AVENUE, SUITE 5, SUITE 5
 MIAMI, FL 33136
 TEL: 305.571.1211

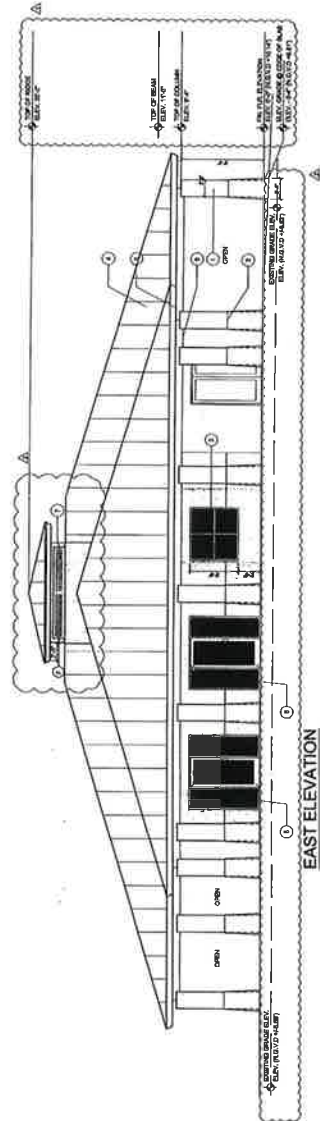


ROYAL PALM TENNIS CLUB
 1701 SW 6th St. on the project
 HUBBARD AVENUE, MIAMI

- LEGEND:
- 1. SEE PARTIAL TRUSS ON EXIST. PLAN
 - 2. EXISTING WALL TO REMAIN
 - 3. EXISTING WALL TO BE DEMOLISHED
 - 4. NEW WALL TO BE CONSTRUCTED
 - 5. EXISTING WINDOW
 - 6. NEW WINDOW
 - 7. EXISTING DOOR
 - 8. NEW DOOR



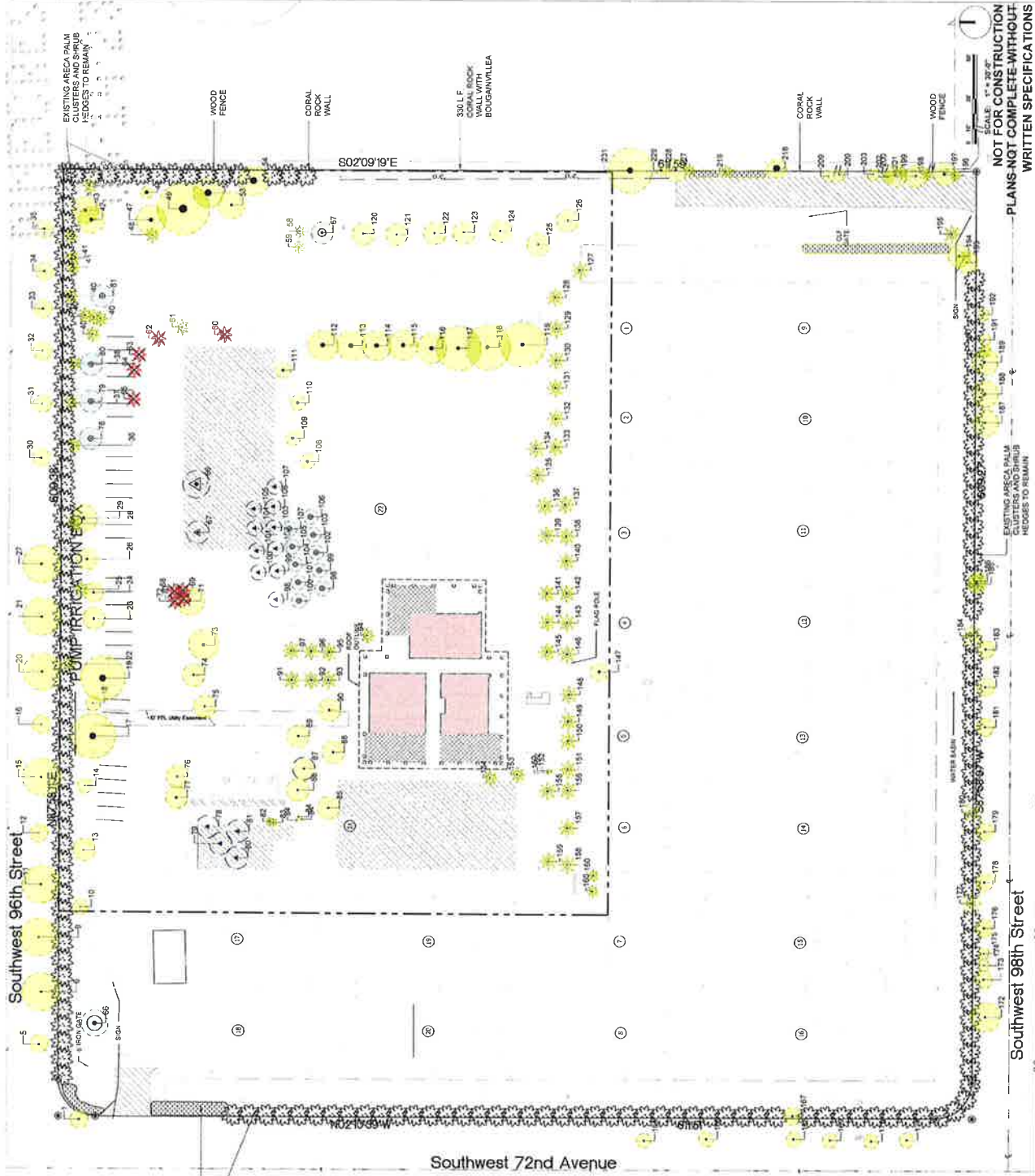
SOUTH ELEVATION



EAST ELEVATION

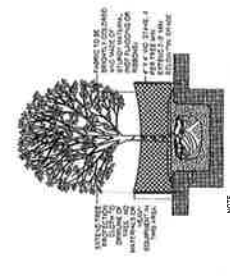
DATE	BY	REVISION

A-2.2



EXISTING ARECA PALM CLUSTERS AND SHRUB HEDGES TO REMAIN

NOTE: CONTRACTOR TO INSTALL FENCE AROUND PERIMETER OF PUMP-IRRIGATION BOX.



- LEGEND**
- TREESPALSMS TO REMAIN
 - TREESPALSMS TO BE RELOCATED
 - RELOCATED NEW LOCATION
 - TREESPALSMS TO BE REMOVED

**NOT FOR CONSTRUCTION
PLANS NOT COMPLETE WITHOUT
WRITTEN SPECIFICATIONS**



NOT FOR CONSTRUCTION
PLANS NOT COMPLETE WITHOUT
WRITTEN SPECIFICATIONS

Tree ID	Tree Name	DBH (in)	Height (ft)	Species	Health	Location	Notes
1
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100

Tree ID	Tree Name	DBH (in)	Height (ft)	Species	Health	Location	Notes
101
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103
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ROYAL PALM TENNIS COURT
 7001 SW 98TH ST.
 PINECREST, FL 33156

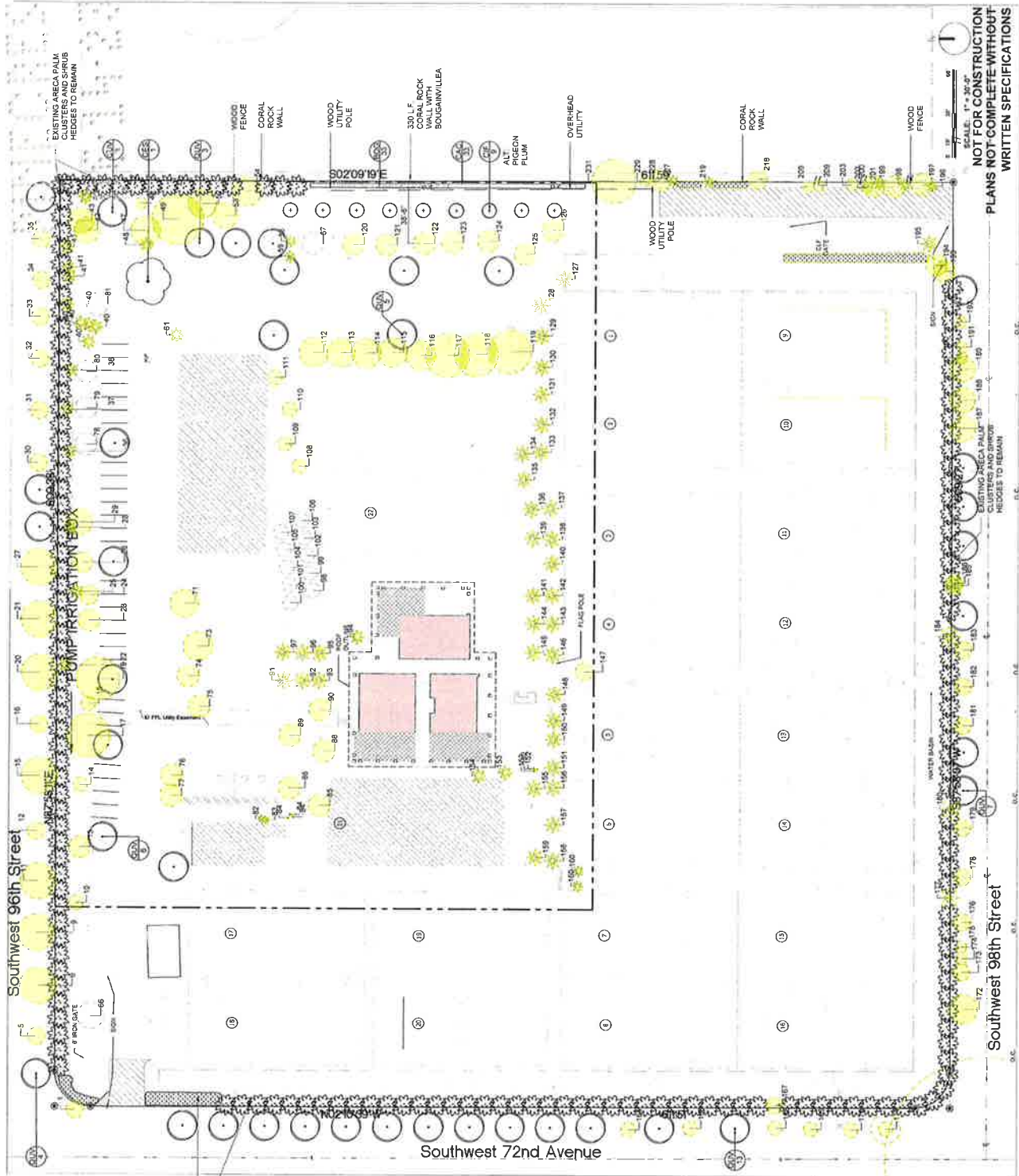
DATE: 12.13.2022
 SCALE: 1"=30'-0"
 SHEET TITLE: PLANTING PLAN
 PLAN OPTIONS: CD PHASE

REVISIONS:

NO.	DATE	DESCRIPTION

SEAL: Barry R. Miller, P.E. 13506
 Barry R. Miller, P.E. 13506
 Barry R. Miller, P.E. 13506
 Barry R. Miller, P.E. 13506

NOT FOR CONSTRUCTION
 PLANS NOT COMPLETE WITHOUT WRITTEN SPECIFICATIONS



LEGEND

TREES/PALMS TO REMAIN: [Symbol] EXISTING ARECA PALM CLUSTERS AND SHRUB HEDGES TO REMAIN

RELOCATED NEW LOCATION: [Symbol] EXISTING ARECA PALM CLUSTERS AND SHRUB HEDGES TO REMAIN

PROPOSED NEW TREES: [Symbol] QUANTITY

[Symbol] QUANTITY

EXISTING ARECA PALM CLUSTERS AND SHRUB HEDGES TO REMAIN

RELOCATED NEW LOCATION

PROPOSED NEW TREES

QUANTITY

QUANTITY

QUANTITY

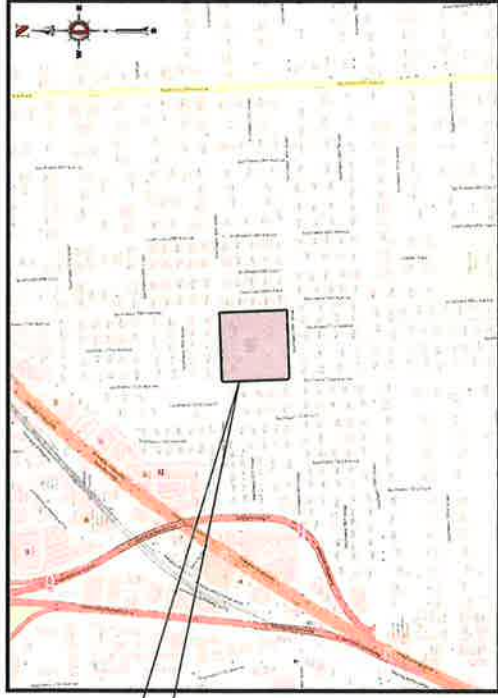
MINOR SITE PLAN MODIFICATION & CONDITIONAL USE APPLICATION



FOR ROYAL PALM TENNIS CLUB, INC.

7001 SW 98TH ST
PINECREST, FLORIDA 33156

PREPARED FOR:
ROYAL PALM TENNIS CLUB, INC.
MARCH 2023



VICINITY MAP
SCALE: 1" = 500'
SECTION 2, TOWNSHIP 55S, RANGE 40E

LEGAL DESCRIPTION
LOT 10, BLOCK 10, PHASE 1, PALM BEACH ESTATES SUBDIVISION, PALM BEACH COUNTY, FLORIDA, AS SHOWN ON PLAT 121-10-0000, 121-10-0001, 121-10-0002, 121-10-0003, 121-10-0004, 121-10-0005, 121-10-0006, 121-10-0007, 121-10-0008, 121-10-0009, 121-10-0010, 121-10-0011, 121-10-0012, 121-10-0013, 121-10-0014, 121-10-0015, 121-10-0016, 121-10-0017, 121-10-0018, 121-10-0019, 121-10-0020, 121-10-0021, 121-10-0022, 121-10-0023, 121-10-0024, 121-10-0025, 121-10-0026, 121-10-0027, 121-10-0028, 121-10-0029, 121-10-0030, 121-10-0031, 121-10-0032, 121-10-0033, 121-10-0034, 121-10-0035, 121-10-0036, 121-10-0037, 121-10-0038, 121-10-0039, 121-10-0040, 121-10-0041, 121-10-0042, 121-10-0043, 121-10-0044, 121-10-0045, 121-10-0046, 121-10-0047, 121-10-0048, 121-10-0049, 121-10-0050, 121-10-0051, 121-10-0052, 121-10-0053, 121-10-0054, 121-10-0055, 121-10-0056, 121-10-0057, 121-10-0058, 121-10-0059, 121-10-0060, 121-10-0061, 121-10-0062, 121-10-0063, 121-10-0064, 121-10-0065, 121-10-0066, 121-10-0067, 121-10-0068, 121-10-0069, 121-10-0070, 121-10-0071, 121-10-0072, 121-10-0073, 121-10-0074, 121-10-0075, 121-10-0076, 121-10-0077, 121-10-0078, 121-10-0079, 121-10-0080, 121-10-0081, 121-10-0082, 121-10-0083, 121-10-0084, 121-10-0085, 121-10-0086, 121-10-0087, 121-10-0088, 121-10-0089, 121-10-0090, 121-10-0091, 121-10-0092, 121-10-0093, 121-10-0094, 121-10-0095, 121-10-0096, 121-10-0097, 121-10-0098, 121-10-0099, 121-10-0100.

DRAWING INDEX

NO.	DESCRIPTION	DATE
1	COVER SHEET	03/2023
2	PROPOSED TENNIS COURT	03/2023
3	PROPOSED IMPROVEMENTS	03/2023
4	PROPOSED UTILITIES	03/2023
5	PROPOSED FLOOD HAZARD	03/2023
6	PROPOSED EROSION CONTROL	03/2023
7	PROPOSED LANDSCAPE ARCHITECTURE	03/2023
8	PROPOSED TRAFFIC IMPROVEMENTS	03/2023
9	PROPOSED LIGHTING	03/2023
10	PROPOSED SIGNAGE	03/2023

PROJECT CONTACTS:
PROJECT:
 ROYAL PALM TENNIS CLUB
 7001 SW 98TH ST
 WALK, FL 33127
 CONTACT: TOM MAGDO, P.A.
 (305) 574-1811
ENGINEER OF RECORD:
 DYNAMIC ENGINEERING CONSULTANTS, P.C.
 100 N.E. 5th AVENUE, SUITE B2
 DELRAY BEACH, FL 33483
 CONTACT: JACQUEL B WILCE, P.E.
 (561) 871-8270
REGISTERED PROFESSIONAL ENGINEER:
 JACQUEL B WILCE, P.E.
 7245 N.E. 9th AVE, ST A
 WEST PALM BEACH, FL 33411
 CONTACT: JACQUEL B WILCE, P.E.
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT:
 JACQUEL B WILCE, P.E.
 7245 N.E. 9th AVE, ST A
 WEST PALM BEACH, FL 33411
 CONTACT: JACQUEL B WILCE, P.E.
REGISTERED PROFESSIONAL SURVEYOR:
 JACQUEL B WILCE, P.E.
 7245 N.E. 9th AVE, ST A
 WEST PALM BEACH, FL 33411
 CONTACT: JACQUEL B WILCE, P.E.



NO.	DESCRIPTION	DATE
1	COVER SHEET	03/2023
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PROPOSED TENNIS COURT
 7001 SW 98TH ST
 WALK, FL 33127

DYNAMIC ENGINEERING
 ENGINEERING CONSULTANTS, P.C.
 100 N.E. 5th AVENUE, SUITE B2
 DELRAY BEACH, FL 33483
 CONTACT: JACQUEL B WILCE, P.E.
 (561) 871-8270

Professional Engineer
 State of Florida
 License No. 103788-0000
 Date: 03/2023

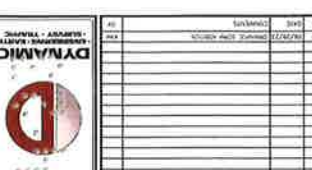
Professional Engineer
 State of Florida
 License No. 103788-0000
 Date: 03/2023

COVER SHEET

NO. 1

C0.00

3/20/23



DYNAMIC ENGINEERING
7000 W. 28th St.
Suite 100
Denver, CO 80231
Tel: 303.752.1100
Fax: 303.752.1101
www.dynamic-engineering.com

PROPOSED TENNIS COURT
9918 32nd Street, Denver, CO 80231
Client: [Redacted]
Project No: [Redacted]

PHASES
1. PRELIMINARY DESIGN
2. PERMITS
3. CONSTRUCTION

GENERAL NOTES
1. SEE ALL NOTES ON DRAWINGS
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS
3. ALL MATERIALS SHALL BE APPROVED BY THE CITY OF DENVER

00.02
1

SURVEY DATA
1. ALL SURVEY DATA SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS
2. ALL SURVEY DATA SHALL BE OBTAINED FROM A LICENSED SURVEYOR
3. ALL SURVEY DATA SHALL BE CHECKED BY THE ARCHITECT

PERMITS REQUIRED - AS-BUILT INFORMATION
1. ALL PERMITS SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION
2. ALL PERMITS SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS
3. ALL PERMITS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW

PHASING NOTES
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SEQUENCE OF CONSTRUCTION
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3. ALL NOTES SHALL BE CHECKED BY THE ARCHITECT

WATER & SEWER UTILITY NOTES
1. ALL WATER & SEWER UTILITY NOTES SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS
2. ALL WATER & SEWER UTILITY NOTES SHALL BE OBTAINED FROM A LICENSED SURVEYOR
3. ALL WATER & SEWER UTILITY NOTES SHALL BE CHECKED BY THE ARCHITECT

EXISTING UTILITIES
1. ALL EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS
2. ALL EXISTING UTILITIES SHALL BE OBTAINED FROM A LICENSED SURVEYOR
3. ALL EXISTING UTILITIES SHALL BE CHECKED BY THE ARCHITECT

INTERUPTION OF EXISTING UTILITIES
1. ALL INTERUPTION OF EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS
2. ALL INTERUPTION OF EXISTING UTILITIES SHALL BE OBTAINED FROM A LICENSED SURVEYOR
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2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS
3. ALL MATERIALS SHALL BE APPROVED BY THE CITY OF DENVER

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1



NO.	DATE	DESCRIPTION
1	12/17/2013	ISSUED FOR PERMITS
2	01/14/2014	REVISED PER COMMENTS
3	02/11/2014	REVISED PER COMMENTS
4	03/11/2014	REVISED PER COMMENTS
5	04/11/2014	REVISED PER COMMENTS
6	05/11/2014	REVISED PER COMMENTS
7	06/11/2014	REVISED PER COMMENTS
8	07/11/2014	REVISED PER COMMENTS
9	08/11/2014	REVISED PER COMMENTS
10	09/11/2014	REVISED PER COMMENTS
11	10/11/2014	REVISED PER COMMENTS
12	11/11/2014	REVISED PER COMMENTS

PROJECT: PROPOSED TENNIS COURT
 2001 SW 98th St
 MIAMI, FL 33155
 CLIENT: MIAMI TENNIS CLUB, INC.

DYNAMIC ENGINEERING
 1000 SW 10th St, Suite 100
 Miami, FL 33135
 (305) 371-0100
 www.dynamiceng.com

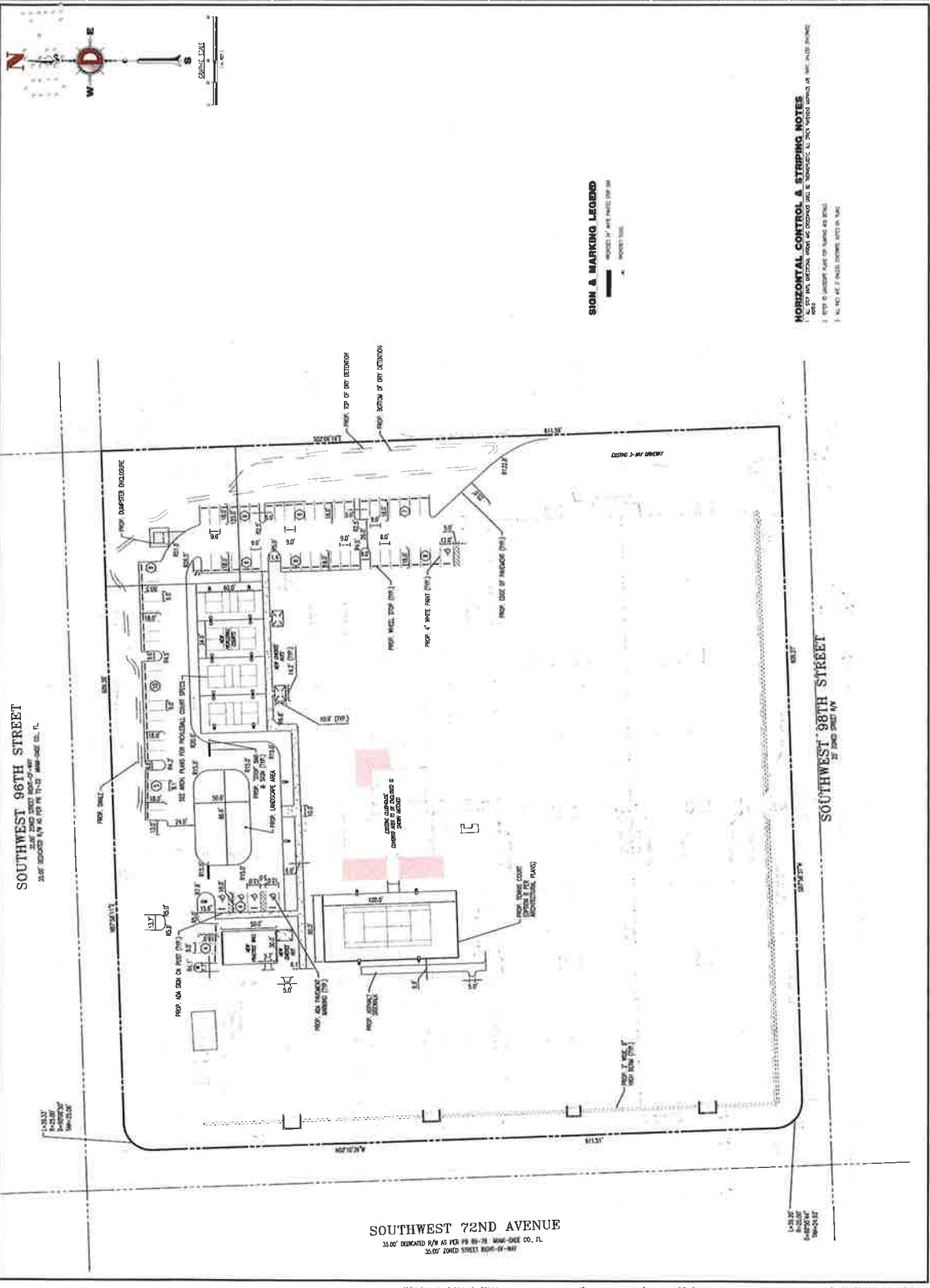
Dynamic Engineering
 1000 SW 10th St, Suite 100
 Miami, FL 33135
 (305) 371-0100
 www.dynamiceng.com

811
 Call Before You Dig
 1-800-4-A-DAWG
 www.811.com

FILE: HORIZONTAL CONTROL, SIGNING & STRIPING PLAN

DATE: 12/17/2013
 DRAWN BY: [Name]
 CHECKED BY: [Name]

C1.00
 1



SIGN & MARKING LEGEND
 - PROPOSED SIGN
 - PROPOSED MARKING

HORIZONTAL CONTROL & STRIPING NOTES
 1. ALL DIMENSIONS SHALL BE TO CENTER LINE UNLESS NOTED OTHERWISE.
 2. ALL DIMENSIONS SHALL BE TO CENTER LINE UNLESS NOTED OTHERWISE.
 3. ALL DIMENSIONS SHALL BE TO CENTER LINE UNLESS NOTED OTHERWISE.

SOUTHWEST 72ND AVENUE
 35.00' DECATED R/W AS PER PB 89-78 MAR-DICE CO., FL
 35.00'

SOUTHWEST 98TH STREET
 75' ROAD RIGHT OF WAY

1
 1
 1

DATE: 03/17/2023
 TIME: 11:43:30 AM

PROJECT: HORIZONTAL CONTROL DETAILS

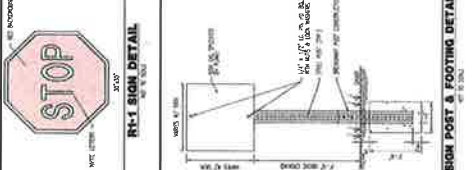
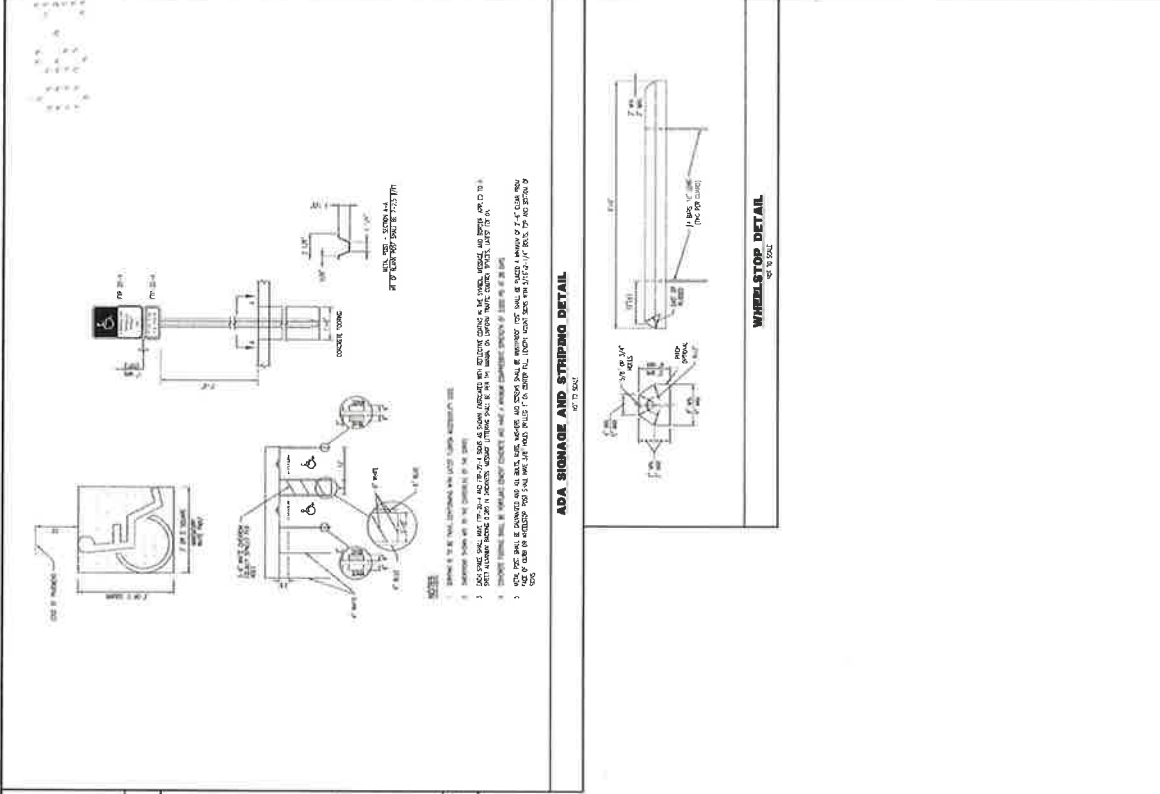
PROJECT: HORIZONTAL CONTROL DETAILS

PROJECT: HORIZONTAL CONTROL DETAILS

DYNAMIC ENGINEERING
 1001 NW 99th St
 Fort Lauderdale, FL 33304
 954-575-1100
 www.dynamic-engineering.com

PROPOSED TENNIS COURT
 1001 NW 99th St
 Fort Lauderdale, FL 33304

DYNAMIC ENGINEERING
 1001 NW 99th St
 Fort Lauderdale, FL 33304
 954-575-1100
 www.dynamic-engineering.com





DYNAMIC ENGINEERING
 1100 S. WILSON AVENUE
 SUITE 100
 CHICAGO, IL 60643
 (773) 629-1100
 FAX (773) 629-1101
 WWW.DYNAMIC-ENG.COM

PROPOSED TENNIS COURT
 PROJECT: 1100 S. WILSON AVENUE
 SHEET: 1100 S. WILSON AVENUE
 DATE: 11/17/2012

DYNAMIC ENGINEERING
 1100 S. WILSON AVENUE
 SUITE 100
 CHICAGO, IL 60643
 (773) 629-1100
 FAX (773) 629-1101
 WWW.DYNAMIC-ENG.COM

PROPOSED TENNIS COURT
 PROJECT: 1100 S. WILSON AVENUE
 SHEET: 1100 S. WILSON AVENUE
 DATE: 11/17/2012

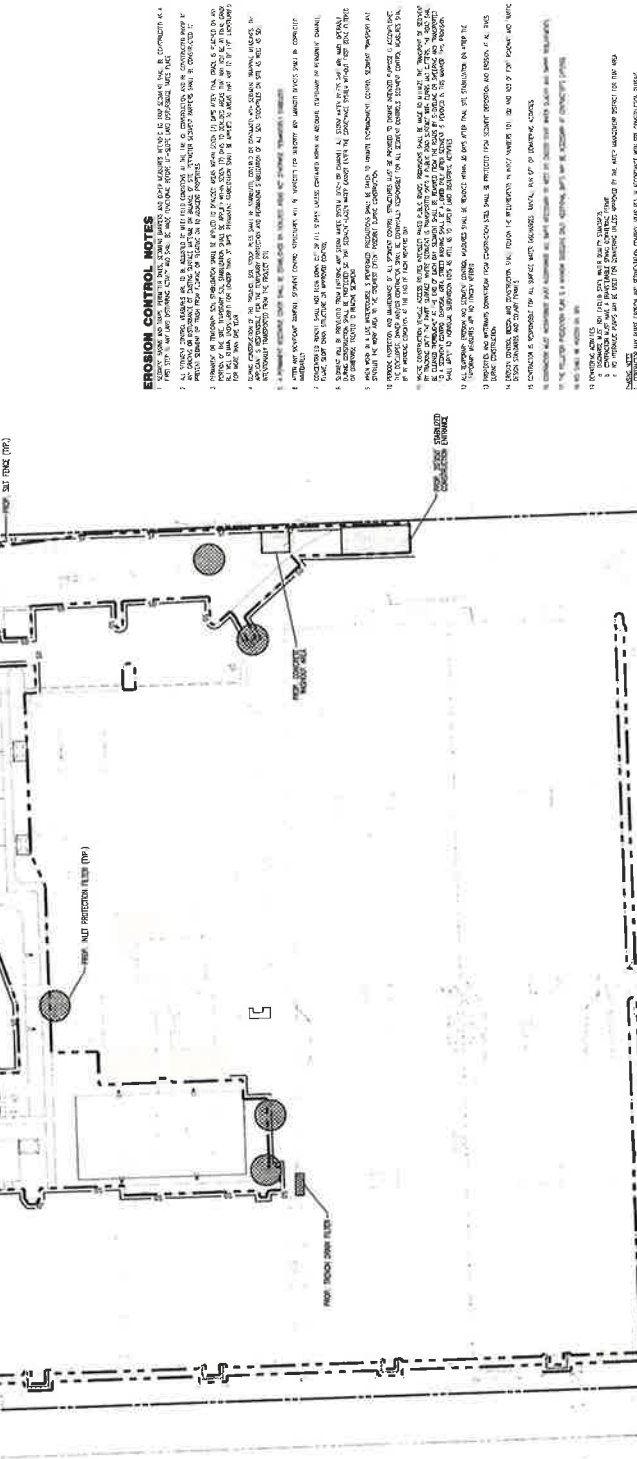
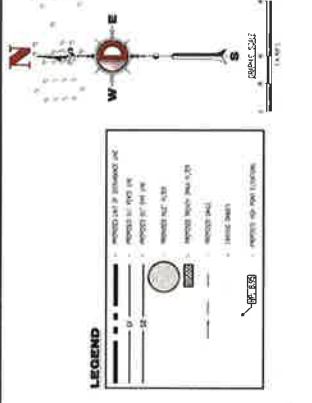
PROPOSED TENNIS COURT
 PROJECT: 1100 S. WILSON AVENUE
 SHEET: 1100 S. WILSON AVENUE
 DATE: 11/17/2012

PROPOSED TENNIS COURT
 PROJECT: 1100 S. WILSON AVENUE
 SHEET: 1100 S. WILSON AVENUE
 DATE: 11/17/2012

PROPOSED TENNIS COURT
 PROJECT: 1100 S. WILSON AVENUE
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PROPOSED TENNIS COURT
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 DATE: 11/17/2012

PROPOSED TENNIS COURT
 PROJECT: 1100 S. WILSON AVENUE
 SHEET: 1100 S. WILSON AVENUE
 DATE: 11/17/2012



EROSION CONTROL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO'S EROSION CONTROL ORDINANCE (17.06.001).
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO'S EROSION CONTROL ORDINANCE (17.06.001).
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20. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO'S EROSION CONTROL ORDINANCE (17.06.001).

SOUTHWEST 98TH STREET
 35.00' EASEMENT 1/4" AS PER PG 68-76 WWW.SHAKE.CO, IL

SOUTHWEST 72ND AVENUE
 35.00' EASEMENT 1/4" AS PER PG 68-76 WWW.SHAKE.CO, IL

SOUTHWEST 98TH STREET
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SOUTHWEST 98TH STREET
 35.00' EASEMENT 1/4" AS PER PG 68-76 WWW.SHAKE.CO, IL



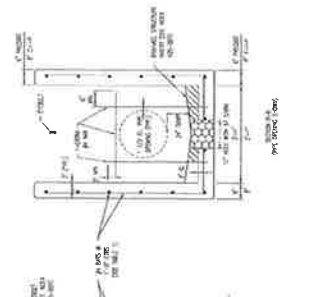
NO.	DATE	REVISIONS

PROPOSED TENNIS COURT
 2001 SW 98th St
 MIAMI, FL 33155

DYNAMIC ENGINEERING
 CONSULTING ENGINEERS
 2001 SW 98th St
 MIAMI, FL 33155
 TEL: 305-555-1234
 FAX: 305-555-5678

SCANNES
 202506889
 202506889
 202506889

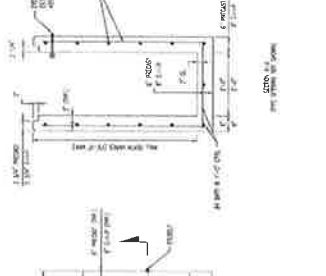
PAVING, GRADING & DRAINAGE DETAILS
 C3.01 1



- NOTES:**
1. SEE SECTION C-1-P FOR WALL DETAIL.
 2. SEE SECTION C-1-P FOR WALL DETAIL.
 3. SEE SECTION C-1-P FOR WALL DETAIL.
 4. SEE SECTION C-1-P FOR WALL DETAIL.

NO.	DESCRIPTION	QTY	UNIT	AMOUNT
1	CONCRETE GRAVITY WALL	1	LINEAL FOOT	1
2	CONCRETE GRAVITY WALL	1	LINEAL FOOT	1

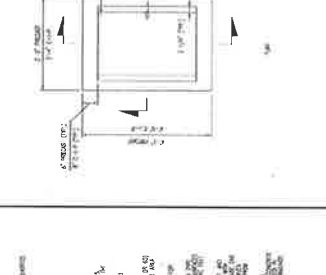
TYPICAL SECTION C-1-P CONCRETE GRAVITY WALL DETAIL
 10' TO SCALE



- NOTES:**
1. SEE SECTION C-2-P FOR WALL DETAIL.
 2. SEE SECTION C-2-P FOR WALL DETAIL.
 3. SEE SECTION C-2-P FOR WALL DETAIL.
 4. SEE SECTION C-2-P FOR WALL DETAIL.

NO.	DESCRIPTION	QTY	UNIT	AMOUNT
1	CONCRETE GRAVITY WALL	1	LINEAL FOOT	1
2	CONCRETE GRAVITY WALL	1	LINEAL FOOT	1

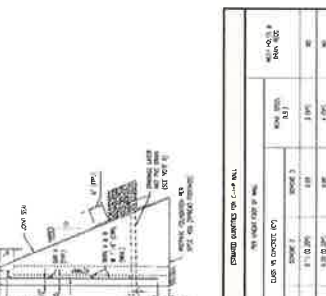
TYPICAL SECTION C-2-P CONCRETE GRAVITY WALL DETAIL
 10' TO SCALE



- NOTES:**
1. SEE SECTION C-3-P FOR WALL DETAIL.
 2. SEE SECTION C-3-P FOR WALL DETAIL.
 3. SEE SECTION C-3-P FOR WALL DETAIL.
 4. SEE SECTION C-3-P FOR WALL DETAIL.

NO.	DESCRIPTION	QTY	UNIT	AMOUNT
1	CONCRETE GRAVITY WALL	1	LINEAL FOOT	1
2	CONCRETE GRAVITY WALL	1	LINEAL FOOT	1

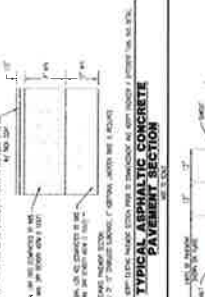
TYPICAL SECTION C-3-P CONCRETE GRAVITY WALL DETAIL
 10' TO SCALE



- NOTES:**
1. SEE SECTION C-4-P FOR WALL DETAIL.
 2. SEE SECTION C-4-P FOR WALL DETAIL.
 3. SEE SECTION C-4-P FOR WALL DETAIL.
 4. SEE SECTION C-4-P FOR WALL DETAIL.

NO.	DESCRIPTION	QTY	UNIT	AMOUNT
1	CONCRETE GRAVITY WALL	1	LINEAL FOOT	1
2	CONCRETE GRAVITY WALL	1	LINEAL FOOT	1

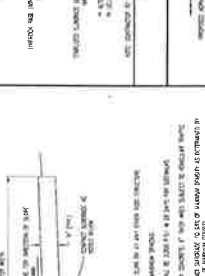
TYPICAL SECTION C-4-P CONCRETE GRAVITY WALL DETAIL
 10' TO SCALE



- NOTES:**
1. SEE SECTION C-5-P FOR PAVEMENT DETAIL.
 2. SEE SECTION C-5-P FOR PAVEMENT DETAIL.
 3. SEE SECTION C-5-P FOR PAVEMENT DETAIL.
 4. SEE SECTION C-5-P FOR PAVEMENT DETAIL.

NO.	DESCRIPTION	QTY	UNIT	AMOUNT
1	ASPHALT CONCRETE PAVEMENT	1	SQUARE FOOT	1
2	ASPHALT CONCRETE PAVEMENT	1	SQUARE FOOT	1

TYPICAL ASPHALT CONCRETE PAVEMENT SECTION
 10' TO SCALE



- NOTES:**
1. SEE SECTION C-6-P FOR SIDEWALK DETAIL.
 2. SEE SECTION C-6-P FOR SIDEWALK DETAIL.
 3. SEE SECTION C-6-P FOR SIDEWALK DETAIL.
 4. SEE SECTION C-6-P FOR SIDEWALK DETAIL.

NO.	DESCRIPTION	QTY	UNIT	AMOUNT
1	CONCRETE SIDEWALK	1	LINEAL FOOT	1
2	CONCRETE SIDEWALK	1	LINEAL FOOT	1

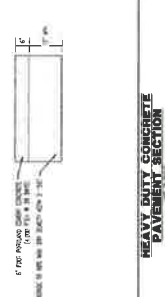
CONCRETE SIDEWALK DETAIL
 10' TO SCALE



- NOTES:**
1. SEE SECTION C-7-P FOR MATCHING DETAIL.
 2. SEE SECTION C-7-P FOR MATCHING DETAIL.
 3. SEE SECTION C-7-P FOR MATCHING DETAIL.
 4. SEE SECTION C-7-P FOR MATCHING DETAIL.

NO.	DESCRIPTION	QTY	UNIT	AMOUNT
1	SAWCUT/PAVEMENT MATCHING DETAIL	1	LINEAL FOOT	1
2	SAWCUT/PAVEMENT MATCHING DETAIL	1	LINEAL FOOT	1

SAWCUT/PAVEMENT MATCHING DETAIL
 10' TO SCALE



- NOTES:**
1. SEE SECTION C-8-P FOR HEAVY DUTY PAVEMENT DETAIL.
 2. SEE SECTION C-8-P FOR HEAVY DUTY PAVEMENT DETAIL.
 3. SEE SECTION C-8-P FOR HEAVY DUTY PAVEMENT DETAIL.
 4. SEE SECTION C-8-P FOR HEAVY DUTY PAVEMENT DETAIL.

NO.	DESCRIPTION	QTY	UNIT	AMOUNT
1	HEAVY DUTY CONCRETE PAVEMENT	1	SQUARE FOOT	1
2	HEAVY DUTY CONCRETE PAVEMENT	1	SQUARE FOOT	1

HEAVY DUTY CONCRETE PAVEMENT SECTION
 10' TO SCALE



- NOTES:**
1. SEE SECTION C-9-P FOR DRAINAGE DETAIL.
 2. SEE SECTION C-9-P FOR DRAINAGE DETAIL.
 3. SEE SECTION C-9-P FOR DRAINAGE DETAIL.
 4. SEE SECTION C-9-P FOR DRAINAGE DETAIL.

NO.	DESCRIPTION	QTY	UNIT	AMOUNT
1	PAVING, GRADING & DRAINAGE DETAILS	1	SQUARE FOOT	1
2	PAVING, GRADING & DRAINAGE DETAILS	1	SQUARE FOOT	1

PAVING, GRADING & DRAINAGE DETAILS
 10' TO SCALE